#### **CITY OF CAPE TOWN** DEVELOPMENT MANAGEME

### PROJECTSPECIFICATION

#### of 1977, subject to the conditions in the attach

work to be carried out strictly in accordance with the Model Preambles for Trades as recommended and published by the sociation of South African Quantity Surveyors, (latest available edition) and shall be deemed to be incorporated herein. s JSPENDED GROUND FLOOR SLABS: Floor finish as indicated on plans on min. 30mm cement screed on RC. slab to engineer's etails!@rovisider#901916 made for openings in slab for water reticulation, drainage and electrical points.

I ନିଙ୍ଫାଟିଶାଧାମ୍ମାନ୍ନ anସିଟିଅଟିଶିଳs to engineer's design

STAINSHIRE States where here a spec

Tread size = 250mm.min

Max. riser size = 200mm.

UPPER FLOOR SLABS: Floor finish as indicated on plans on min. 50mm cement screed on RC. slab to engineer's details. Provision to be made for openings in slab for water reticulation, drainage and electrical points. All RC. columns and beams to engineer's design.

**TERRACES & BALCONIES:** Floor finish as indicated on plans on applied waterproofing membrane on min. 30mm cement screed to min 1:100 falls on RC. slab to engineers design. Min. 100mm deep weather step between internal and external slabs. LINTELS: Prestressed, precast concrete lintels as supplied by "Allied concrete" (or Similar) to be used over openings no more than 3000mm wide, with min. 4 brick courses above. Prestressed concrete lintels Type A.P.S. as supplied by "Allied Concrete" (or similar) to be used above all openings not more than 3000mm wide. Lintels shall be 300mm longer than the width of the opening unless otherwise specified. Lintels in cavity walls shall be of different widths, the internal lintel 150mm wide and the external lintel 110mm wide. the stepped DPC. shall pass between the two lintels. Lintels in 110 and 230mm walls shall be the full

#### width of the wall.

**BRICKWORK REINFORCEMENT:** Brickforce to be used as per engineers specifications. COROBRIK Clay bricks through **INTERNAL WALLS:** 

To be 110mm free standing and 220mm loadbearing walls, unless otherwise specified. **EXTERNAL WALLS:** 

To be 230mm cavity walls with concrete filled cavities below ground floor and above roof level. Gable walls to be tied back to roof structure by GMS. straps built 300mm into brick work at 900mm c/c and securely nailed to battens.

WEEPHOLES: Min. 75x8mm wide weep holes to be provided below all cills and above all slabs, openings and other bridges to cavity, to be neat and evenly spaced at max. 900mm c/c.

WIRE TIES: GMS wire wall ties shall be built into any cavity wall at a rate of 2.5 ties per sqm.

WATERPROOFING: 375 micron Polyethylene Stepped horizontal DPC below all

cills and above all slabs, openings and other bridges to cavity walls and vertical DPC to sides of all openings. 375 micron damp course under walls at min. 150mm above adjacent ground level. Lower lip of 375 micron damp proof course under cavity wall must be min. 150mm above finished ground level and cavity beneath DPC must be concrete filled. 375 micron Polyethylene

continuous DPM below all surface beds.

250 micron UT Polyethylene sheet underlay below roofing covering to all pitched roofs.

Flat roof waterproofing as per details

**AIRBRICKS:** Provide 2 airbricks to all habitable rooms.

**DOORS & WINDOWS:** All doors, windows and frames to be purpose made of aluminium, by specialist supplier as indicated on drawings

GLAZING: 6mm thick safety glass to be used throughout. 6mm thick safety glass to be used in all sections greater than 1sqm or closer than 1000mm to the floor, to comply with N(1),(2) of the N.B.R. All glazing to comply with requirements of SABS 0137 access doors and side lights to have safety glass. Windows lower than 500mm from floor or lower than 1800mm above pitch line of stairs and shop fronts to have safety glass.

- ALL GLAZING TO COMPLY WITH SANS 10 400- PART N

PLASTERBOARD CEILINGS: Skimmed and Painted 12mm plasterboard fixed to 50x38mm SA pine ceiling branders at max 400mm c/c.

RC. CEILINGS: Cleaned with exposed concrete finish.

CEILING INSULATION: Min 104mm thick "cavitybatt" (or similar) roof insulation to be installed above all plasterboard ceilings. **REFER TO CEILING PLAN & DETAILS** 

**RAINWATER GOODS:** sizes of rainwater goods to be calculated prior to and construction PVC RW DOWNPIPE: 100mm dia. uPVC down pipes RC. to discharge into stormwater system

FULLBORE OUTLETS: PVC fullbore outlets cast into RC. slabs in positions as indicated on plans to eng.

**PITCHED ROOF:** Seamlok 700 roof sheeting laid to manufacturer's specification on PVC underlay on 50x50mm S.A. pine battens at max. 900mm c/c to suit on SA pine trusses to engineer's design at max. 750mm c/c. Truss ends to be tied down onto 114x38mm wallplate with 30x1,2mm GMS straps embedded 600mm into brickwork or concrete. GMS straps shall be taken up over the two of the truss, bent down on the other side and nailed down from both sides.

TIMBER GENERAL: All timber shall be sawn die square, planed smooth and free from knots, blemishes and other imperfections. All timber to be light sanded prior to Painting. TIMBER ROOF STRUCTURE: see drawings

TIMBER ROOF STRUCTURE: see drawings

FLOOR FINISHES: as shown on plan

ELECTRICAL WORK: Electrical layouts to buildings to later design by architects.

Work to be carried out by qualified electrician.

**PLUMBING & DRAINAGE:** To comply with part P of N.B.R.

Soil pipes to be min. 110 dia. uPVC.

Waste pipes to be min. 40mm dia, uPVC. Stubstack to be 110mm dia. uPVC.

Open vent pipe to be 50mm dia. uPVC.

75mm deep seal traps to all fittings.

All pipes to have min. 1:60 falls.

\* The solar water heating systems shall comply with SANS 1307 and SANS 10106, based on the thermal performance determined in accordance with the provisions of SANS 6211-1 and SANS 6211-2. The installation thereof shall comply with SANS 10254.

\* Hot water vessels and tanks shall be insulated with a material achieving a minimum *R*-value of 2,0. \*Insulation on vessels, tanks and piping containing cooling water shall be protected by a vapour barrier on the outside of the insulation

PLASTERING: All visible brickwork walls and cills are to be plastered and Painted as indicated on elevations.

INTERNAL: one coat lime/cement smooth, 12-15mm thick.

EXTERNAL: one coat lime/cement stippled, 12-15mm thick. CILLS: to be plastered to match walls.

Rough plaster where indicated to later specifications.

Expansion joints to plaster between concrete & masonry to be v-joints. TILING: Glazed ceramic wall tile as per details.

**PAINT WORK:** All Paintwork internal and external is to be of good quality by

"DULUX" (or similar) to be applied to manufacturer's specification.

BALUSTRADES: ALL BALUSTRADES 1m MINIMUM ABOVE FFL AND SHALL NOT CONTAIN OPENING THAT WILL PERMIT THE PASSAGE OR A 100mm DIAMETER BALL

### **AREA SCHEDULE:**

## **BASEMENT FLOOR**

COVERED GROUND FLOOR : 268m<sup>2</sup>

NIA ground floor: 189m<sup>2</sup>

Covered Entertainment area 1: 21m<sup>2</sup>

Pool patio: 28m<sup>2</sup>

Breakfast terrace: 23m<sup>2</sup>

entrance canopy: 7m<sup>2</sup>

FIRST FLOOR : 203m<sup>2</sup>

NIA first floor: 200m<sup>2</sup> covered deck master bed : 3m<sup>2</sup>

#### PROPOSED COVERED AREA OF SITE: 354m<sup>2</sup>

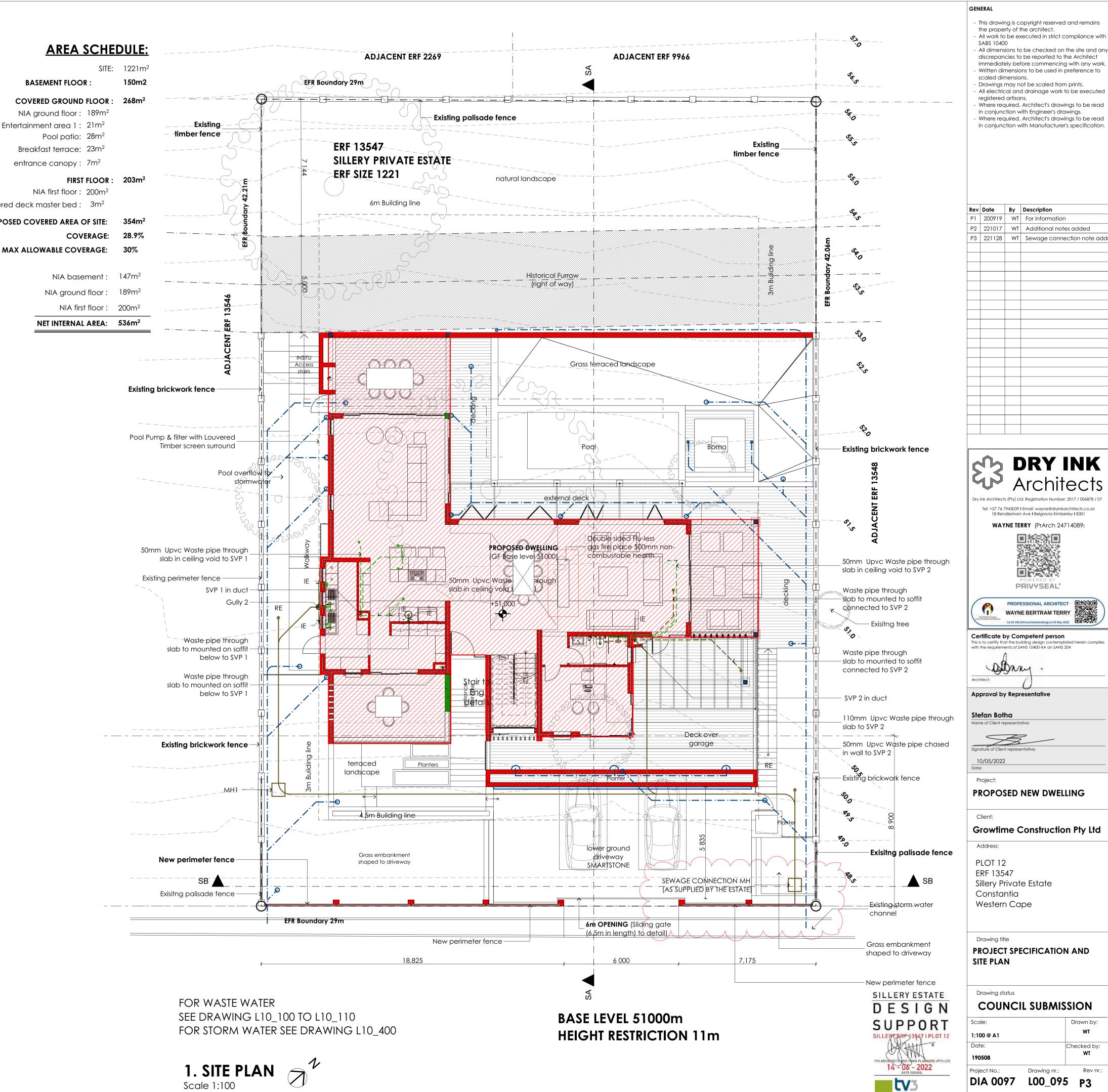
COVERAGE:

NIA basement : 147m<sup>2</sup>

NIA ground floor: 189m<sup>2</sup>

NIA first floor : 200m<sup>2</sup>

NET INTERNAL AREA: 536m<sup>2</sup>

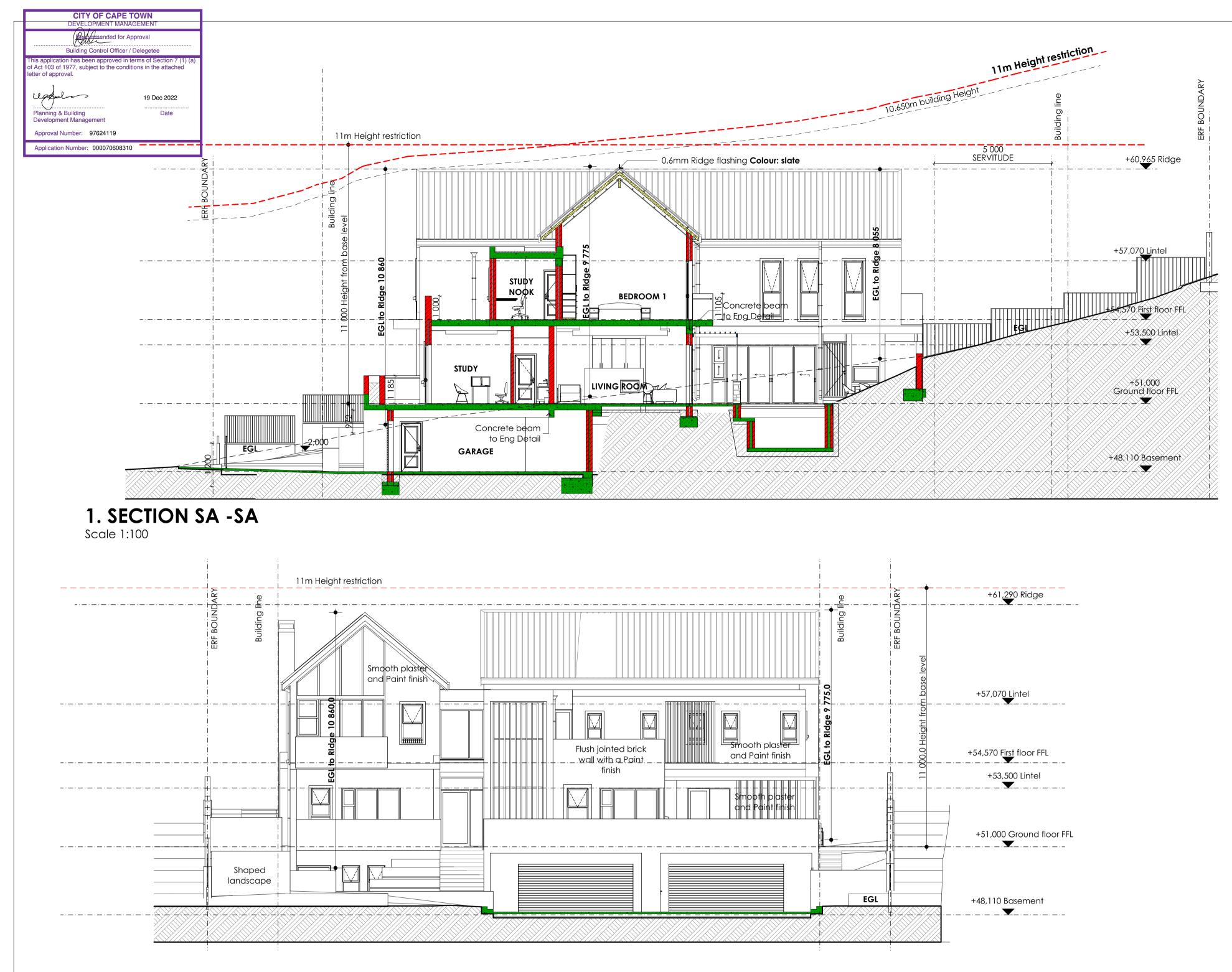




S - A c - V - V - P - A r r - V - V - V	<ul> <li>All work to be executed in strict compliance with SABS 10400</li> <li>All dimensions to be checked on the site and any discrepancies to be reported to the Architect immediately before commencing with any work.</li> <li>Written dimensions to be used in preference to scaled dimensions.</li> <li>Drawings may not be scaled from prints.</li> <li>All electrical and drainage work to be executed registered artisans.</li> <li>Where required, Architect's drawings to be read in conjunction with Engineer's drawings.</li> <li>Where required, Architect's drawings to be read in conjunction with Manufacturer's specification.</li> </ul>							
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arthr	Con African Council Acchaectural Profession	WAYN	E BERTRAM TERRY					
This is	to certify the	at the bui	mpetent person ilding design contemplated herein complies ANS 10400-XA an SANS 204					
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**PROJECT SPECIFICATION AND** 

Drawing status COUNCIL SUBMISSION Drawn by: WT Checked by: WT Drawing nr.: Rev nr.:



## 2. SECTION SB -SB

Scale 1:100

BASE LEVEL 51000m **HEIGHT RESTRICTION 11m** 

#### GENERAL

-	This drawing is copyright reserved and remains
	the property of the architect.

- All work to be executed in strict compliance with SABS 10400 - All dimensions to be checked on the site and any
- discrepancies to be reported to the Architect immediately before commencing with any work. - Written dimensions to be used in preference to scaled dimensions.
- Drawings may not be scaled from prints.
- All electrical and drainage work to be executed registered artisans.
- Where required, Architect's drawings to be read in conjunction with Engineer's drawings.
  Where required, Architect's drawings to be read
- in conjunction with Manufacturer's specification.

Rev Date By Description P1 200919 WT For information P2 221017 WT Additional notes added Dry ink Architects (Pty) Ltd: Registration Number: 2017 / 006878 / 03 Tel: +27 76 7943039 | Email: wayne@dryinkarchitects.co.za 18 Rendlesham Ave | Belgravia Kimberley | 8301 WAYNE TERRY (PrArch 24714089) PRIVYSEAL PROFESSIONAL ARCHITECT

Certificate by Competent person

This is to certify that the building design contemplated with the requirements of SANS 10400-XA an SANS 204

Obray. Architect:

Approval by Representative

#### Stefan Botha Name of Client representative:

()

anature of Client represe 10/05/2022 Date:

#### Project:

### **PROPOSED NEW DWELLING**

Client:

### Growtime Construction Pty Ltd

#### Address:

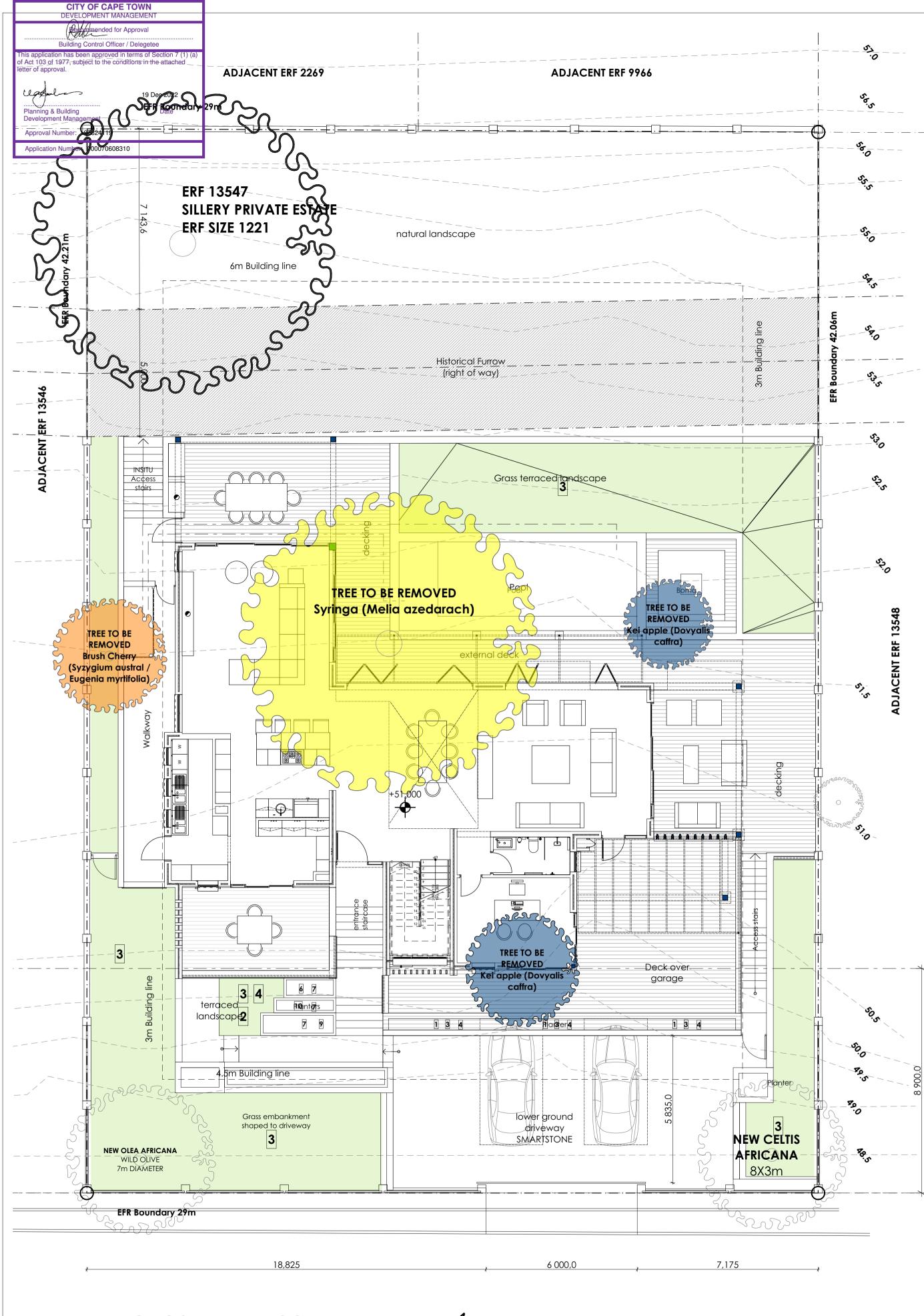
PLOT 12 ERF 13547 Sillery Private Estate Constantia Western Cape

Drawing title SITE SECTIONS

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1:100 @ A1		WT
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Project No.:	Drawing nr.:	Rev nr.:
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# 1. PROPOSED LANDSCAPE PLAN



Scale 1:100

BASE LEVEL 51000m **HEIGHT RESTRICTION 11m** 



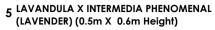
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# 7m DIAMETER

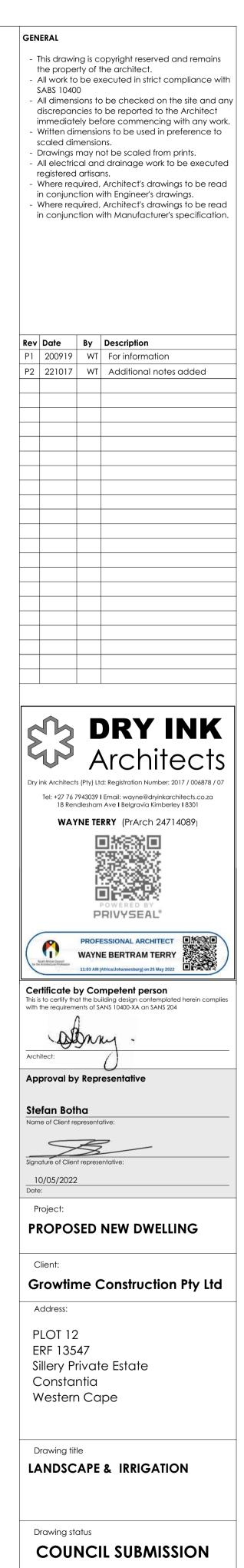




8 ALOE THRASKII 9 CRASSULA MULTICAVA PURPLE 10 KLEINIA FULGENS

### TREES TO BE REMOVED

Yellow arrow – Syringa (Melia azedarach) Orange arrow – Brush Cherry (Syzygium austral / Eugenia myrtifolia) Blue arrow – Kei apple (Dovyalis caffra)





SILLERY ESTATE

Scale: Drawn by: WT 1:100 @ A1 Date: Checked by: WT 190508 Rev nr.: Project No.: Drawing nr.: DIA 0097 L00\_097 P2 DIA 0097\_Team model Option 2\_15\_Arch 24.pln

## **CITY OF CAPE TOWN**

	ENT	
ROOF & CEILIN	LATION	
Building Control Officer / Delec	etee	R-value, unventilated, upwards air flow
ไปละสอบไหลมีเลยาไม่สะ มีสุดชุมสุขธาญหลุยไม่แปะterms 1285 มีเรื่องเห็นไปสามาร์ ได้เป็นกับส์เป็นสินอย่าง โหลยสุขธานส์ เลยาสุของ onto 114 x 38mm wall plate เป็นสินอย่ายไป 10 to engineers pecifications.	DF SEGIODOR AR FIEM -7 n/s	0.03
1228-1 38 honorin berrottes a province conditions i	METAL ROOP SHEETING	0
With guist Moop Yelk. To engineers specifications. ROOPS AND CELINGS (TO COMPLY WITH PART T OF SANS 1940): Source State of the state of the state of the state of the state regard parts of the state of the state of the state of the state Read of the state of th	ROOF AIR SPACE: 25n m UPPER & LOWER GAPS SUPER SISALATION 405 DOUBLE SIDED REFLECTIVE FOIL	1.29
Fire proof ceiling (30min) 9.5mm plasterboard	10mm GYPSUM PLAST RBOARD CEILING	0.06
Raof puttins will not continue through a tenancy /	9 DRG8022 IR FILM (still sir)	0.11
fire woll. / chilling to the second se	1007000 THICK ISOVER AEROLITE' GLASS WOOL BLANKET	2.5
		3.99
CONTAVIS RVIILE REQUIRED 97624119		3.70
Constraint, R Treat Regored		0.70
CAPPlication: Manager 2000/20608310	OUTDOOR AIR FILM -7 n/s	0.03
fixedand tied down onto 114 x 38mm wall plate with galv, hoop iron. To engineers specifications.	METAL ROOF SHEETING	0
	ROOF AIR SPACE: 25mm UPPER & LOWER GAPS SUPER SISALATION 405 DOUBLE SIDED REFLECTIVE FOIL	1.29
ROOFS AND CEILINGS (TO COMPLY WITH PART T OF SANS 10400): Fire proof ceiling (30min) 9.5mm plasterboard ceiling with 9.5mm vermiculite plaster.	25mm ISOBOARD CEILING	0.833
Roof purlins will not continue through a tenancy / fire wall.	INDOOR AIR FILM (still air)	0.11
fire wall. CEILINGS (TO COMPLY WITH OF SANS 10400-XA); Refer to XA compliance table for all roof insulation.	CEILING INSULATION: 40mm THICK STANDARD LAMBDABOARD	1.67
TOTAL R-VALUE		3.93
CONSTANTS: R-VALUE REQUIRED		3.70
Sector Store C. Francisco Antese		Lasta.
WATER PIPE INSULATION		
Internal diameter of pipe	Component	R-value
35mm hot water pipe	ISOVER 'SNAP ON PIPE' GLASSWOOL INSULATION	1.0
TOTAL R-VALUE		1.0
		1.0



## **DIA 0097 HOUSE CONATANTIA SILLERY PRIVATE ESTATE**

PLOT 12, ERF 13547 SILLERY PRIVATE ESTATE CONSTANTIA

#### **Regulation XA Compliance Report**

Prepared By	Dry In Architects			
Address	Blouberg ave 9301			
Telephone	0767943039			
Building Details				
Project Name	Sillery			
Building	Sillery Plot 12			
City	Cape Town			
Climate Zone	4 ( Temperate coastal )			
Occupancy Classification				
Occupancy	H4			
Design Hours per Day	24 Hours/Day			
Design Days per Week	7 Days/Week			
Floor Areas				
Nett Area Floor area excluding garages, car ports and storage areas, also exclud- ing vertical elements ie. internal walls. Typically used for Fenestration cal- culations.	620.000 <b>m</b> <sup>2</sup>			
Total Area Floor area excluding garages, car ports and storage areas, also including vertical elements. Typically used for max energy de-mand and consump- tion calculations.	600.000 <b>m</b> <sup>2</sup>			

Gross floor area including garages, car ports and storage areas. Typically used for Services – Lighting and Power calculations.

Floor Areas

#### Maximum Energy Demand & Consumption

Design Assumption for Building Classification	
Maximum Energy Demand	0.000 VA/m²
Maximum Energy Consumption	N/A
Annual Energy Demand and Consumption	

#### Maximum Energy Demand N/A N/A **Maximum Energy Consumption** Orientation

Optimal North (for Cape Town: +20 E and +8 W) **Building Orientation** 

**Orientation Information** Ideal/Optimal Building Orientation met/achieved

#### Shading

#### Shading Information

Shading is sufficient for currently entered glazing elements. Please ensure that all the glazing elements situated in the northern wall have been entered here. Please continue to the "Fenestration Module" and do the 15% fenestration element to floor area calculation. If this ratio is

below 15% then you comply and do not have to complete Natural and Mechanical fenestration calculations. This is only the case if both Orientation and Shading calculations comply. For more information refer to SAIAT XA Guide, SANS 10400-XA section 4.4.1 (b) and SANS 204 section 4.3.5

Storey	Туре	Mark	Height (WH)	Width	Area	G-Value	P-Value	H Value	Tan Value	Min P-Value
Ground Floor	Glazed Door	D14	2.500	5.300	13.250	0.000	4.000	3.015	0.670	2.020
Ground Floor	Glazed Door	D16	2.500	5.000	12.500	0.000	2.000	2.830	0.670	1.896
Ground Floor	Glazed Door	D17	2.500	4.600	11.500	0.000	2.000	2.830	0.670	1.896
First Floor	Window	W2	1.200	0.900	1.080	0.000	1.200	1.700	0.670	1.139
First Floor	Glazed Door	D13	3.000	4.500	13.500	0.000	2.500	3.200	0.670	2.144
First Floor	Glazed Door	D10	2.500	2.500	6.250	0.000	2.000	2.500	0.670	1.675
First Floor	Glazed Door	D10_1	2.500	2.500	6.250	0.000	2.000	2.500	0.670	1.675

#### **Fenestration - Area Calculations**

#### Storey : Basement

Description	Height	Width	Area	%
Window W2 - Aluminum 1 with PG X1 Elite Single	1.200	0.650	0.780 m²	
Window W6 - Aluminum 1 with PG X1 Elite Single	1.200	0.750	0.900 m²	
Window W6_1 - Aluminum 1 with PG X1 Elite Single	1.200	0.750	0.900 m²	
Window W6_2 - Aluminum 1 with PG X1 Elite Single	1.200	0.750	0.900 m²	
Window W8 - Aluminum 1 with PG X1 Elite Single	0.750	0.600	0.450 m²	
Window W8_1 - Aluminum 1 with PG X1 Elite Single	0.750	0.600	0.450 m²	
Door D8 - Aluminum 1 with PG X1 Elite Single	2.100	2.000	4.200 m²	
Total Glazing Area			8.580 m²	
Nett Floor Area			161.000 m²	
15% Glazing Limit			Performance Calculations	5 %

Storey : Ground Floor

Description	Height	Width	Area	%
Window W13 - Aluminum 1 with PG X1 Elite Single	2.300	1.500	3.450 m <sup>2</sup>	
Window W4 - Aluminum 1 with PG X1 Elite Single	1.800	0.800	1.440 m²	
Window W1 - Aluminum 1 with PG X1 Elite Single	1.500	0.900	1.350 m <sup>2</sup>	
Window W6 - Aluminum 1 with PG X1 Elite Single	1.200	0.800	0.960 m²	
Window W7 - Aluminum 1 with PG X1 Elite Single	1.100	0.700	0.770 m²	
Window W7_1 - Aluminum 1 with PG X1 Elite Single	1.100	0.700	0.770 m²	
Window W7_2 - Aluminum 1 with PG X1 Elite Single	1.100	0.700	0.770 m²	
Window W5 - Aluminum 1 with PG X1 Elite Single	1.200	0.800	0.960 m²	
Door D14 - Aluminum 1 with PG X2 Stand Double	2.500	5.300	13.250 m²	
Door D16 - Aluminum 1 with PG X2 Stand Double	2.500	5.000	12.500 m <sup>2</sup>	
Door D17 - Aluminum 1 with PG X2 Stand Double	2.500	4.600	11.500 m <sup>2</sup>	
Door D15 - Aluminum 1 with PG X2 Stand Double	2.500	4.600	11.500 m <sup>2</sup>	
Door D12 - Aluminum 1 with PG X2 Stand Double	2.500	4.600	11.500 m²	
Door D5 - Aluminum 1 with PG X2 Stand Double	2.500	1.800	4.500 m²	
Door D10 - Aluminum 1 with PG X2 Stand Double	2.500	2.000	5.000 m²	
Door D10A - Aluminum 1 with PG X2 Stand Double	2.500	2.000	5.000 m²	
Door D10_1 - Aluminum 1 with PG X2 Stand Double	2.500	2.000	5.000 m²	
Door D4 - Aluminum 1 with PG X2 Stand Double	2.100	1.000	2.100 m <sup>2</sup>	
Total Glazing Area			92.320 m²	
Nett Floor Area			207.000 m²	
15% Glazing Limit			Performance Calculations	45 %

Storey : First Floor

Description	Height	Width	Area	%
Window W3 - Aluminum 1 with PG X1 plus Single	2.350	0.800	1.880 m²	
Window W10 - Aluminum 1 with PG X2 Stand Double	2.750	3.000	8.250 m²	
Window W14 - Aluminum 1 with PG X1 plus Single	3.200	1.365	4.368 m²	
Window W7 - Aluminum 1 with PG X1 plus Single	1.200	0.700	0.840 m²	
Window W9 - Aluminum 1 with PG X1 plus Single	1.200	0.600	0.720 m²	
Window W3_1 - Aluminum 1 with PG X1 plus Single	2.350	0.800	1.880 m²	
Window W3_2 - Aluminum 1 with PG X1 plus Single	2.350	0.800	1.880 m <sup>2</sup>	
Window W3_3 - Aluminum 1 with PG X1 plus Single	2.350	0.800	1.880 m²	
Window W3_4 - Aluminum 1 with PG X1 plus Single	2.350	0.800	1.880 m <sup>2</sup>	
Window W3_5 - Aluminum 1 with PG X1 plus Single	2.350	0.800	1.880 m²	
Window W2 - Aluminum 1 with PG X1 plus Single	1.200	0.900	1.080 m <sup>2</sup>	
Window W9_2 - Aluminum 1 with PG X1 plus Single	1.200	0.600	0.720 m²	
Window W9_1 - Aluminum 1 with PG X1 plus Single	1.200	0.600	0.720 m²	
Window W9_3 - Aluminum 1 with PG X1 plus Single	1.200	0.600	0.720 m²	
Window W9_4 - Aluminum 1 with PG X1 plus Single	1.200	0.600	0.720 m²	

15% Glazing Limit			Performance Calculations	35 %
Nett Floor Area			252.000 m²	
Total Glazing Area			88.162 m²	
Door D9 - Aluminum 1 with PG X1 plus Single	2.500	2.400	6.000 m²	
Door D11 - Aluminum 1 with PG X1 plus Single	3.000	3.700	11.100 m <sup>2</sup>	
Door D7 - Aluminum 1 with PG X1 plus Single	2.270	0.830	1.884 m²	
Door D10_1 - Aluminum 1 with PG X1 plus Single	2.500	2.500	6.250 m²	
Door D10 - Aluminum 1 with PG X1 plus Single	2.500	2.500	6.250 m²	
Door D13 - Aluminum 1 with PG X1 plus Single	3.000	4.500	13.500 m <sup>2</sup>	
Window W2_1 - Aluminum 1 with PG X1 plus Single	1.200	0.900	1.080 m²	
Window W3_3 - Aluminum 1 with PG X1 plus Single	2.350	0.800	1.880 m²	
Window W11 - Aluminum 1 with PG X1 plus Single	3.000	2.100	6.300 m²	
Window W12 - Aluminum 1 with PG X1 plus Single	2.100	1.800	3.780 m²	
Window W1 - Aluminum 1 with PG X1 plus Single	1.200	0.600	0.720 m <sup>2</sup>	

#### Fenestration - Natural Environment Control

Storey : Basement

#### Storey : Basement Description Height Width Area Shading % % G (m) P H PH U SHGC E A\*CU A\*S\*E Window W2 - Aluminum 1 with PG X1 Elite Single 1.200 0.650 0.780 80 0.515 0.900 1.715 1.600 3.650 0.430 0.180 2.847 0.060 Window W6 - Aluminum 1 with PG X1 Elite Single 1.200 0.750 0.900 m<sup>2</sup> 0.000 0.000 1.200 0.000 3.650 0.430 0.610 3.285 0.236 Window W6 - Aluminum 1 with PG X1 Elite Single 1.200 0.750 0.900 m<sup>2</sup> 0 0.000 0.000 3.650 0.430 0.610 3.285 0.236 Window W6 - Aluminum 1 with PG X1 Elite Single 1.200 0.750 0.900 m<sup>2</sup> 0 0.000 0.000 3.650 0.430 0.610 3.285 0.236 Window W8 - Aluminum 1 with PG X1 Elite 0.750 0.600 0.450 0 0.000 0.000 3.650 0.430 Total Glazing Area 31.317 3.742 31.317 3.742 225.400 20.930 Aggregate Element Value Allowable Values COMPLI-ANT ANT Natural Environment Control Storey : Ground Floor Height Width Area Shading G P H PH U SHGC E A\*CU A\*S\*E Description x W13 - Aluminum 1 with PG X1 Elite 2.300 1.500 3.450 m² 0 5.000 0.330 7.300 0.023 3.650 0.430 1.400 12.593 2.077 Single Window W4 - Aluminum 1 with PG X1 Elite 1.800 0.800 1.440 m² 0 5.000 0.330 6.800 0.024 3.650 0.430 1.400 5.256 0.867 1.500 0.900 1.350 m² 0 0.000 0.000 1.500 0.033 0.610 4.928 0.354 Single Window W1 - Aluminum 1 with PG X1 Elite Single Window W6 - Aluminum 1 with PG X1 Elite Window W6 - Aluminum 1 with PG X1 Elite 1.200 0.800 0.960 m² 0 0.800 3.000 2.000 0.750 3.650 0.430 0.290 3.504 0.120 Window W7 - Aluminum 1 with PG X1 Elite 1.100 0.700 0.770 m² 0 5.000 0.330 6.100 0.027 3.650 0.430 1.400 2.811 0.464 Window W7\_1 - Aluminum 1 with PG X1 Elite 1.100 0.700 0.770 m² 0 5.000 0.330 6.100 0.027 3.650 0.430 1.400 2.811 0.464 Single 1.100 0.700 0.770 m² 0 5.000 0.330 6.100 0.027 3.650 0.430 1.400 2.811 0.464 Single Window W7 - Aluminum 1 with PG X1 Elite Window W7\_1 - Aluminum 1 with PG X1 Elite Single 1.100 0.700 0.770 m² 0 5.000 0.330 6.100 0.273 850 0.430 1.400 2.811 0.464 Window W7\_2 - Aluminum 1 with PG X1 Elite Single 1.100 0.700 0.770 m² 0 5.000 0.330 6.100 0.027 3.650 0.430 1.400 2.811 0.464 Window W7\_2 - Aluminum 1 with PG X1 Elite Single 1.200 0.800 0.960 m² 0 0.800 4.500 2.000 1.253 6.500 0.430 1.400 2.811 0.464 Window W5 - Aluminum 1 with PG X1 Elite Single 1.200 0.800 0.960 m² 0 0.800 4.500 2.000 1.850 0.430 0.400 3.504 0.165 Door D14 - Aluminum 1 with PG X2 Stand 2.500 5.300 m² 100 0.515 4.000 3.015 2.000 1.850 0.510 0.140 24.513 0.946 Door D17 - Aluminum 1 with PG X2 Stand 2.500 6.000 m² 80 0.330 2.000 2.830 1.600 1.850 0.510 0.160 <td Door D5 - Aluminum 1 with PG X2 Stand 0.330 3.000 2.830 1.060 1.850 0.510 0.230 8.325 0.528 2.500 1.800 4.500 m<sup>2</sup> 0 - Aluminum 1 with PG X2 Stand 0.000 0.000 2.500 0.000 1.850 0.510 0.870 9.250 2.219 2.500 2.000 5.000 m<sup>2</sup> 0 0.000 0.000 2.500 0.000 1.850 0.510 0.610 9.250 1.556 oor D10A - Aluminum 1 with PG X2 Stan 2.500 2.000 5.000 m<sup>2</sup> 0 Door D10\_1 - Aluminum 1 with PG X2 Stand 0.000 0.000 2.500 0.000 1.850 0.510 0.870 9.250 2.219 2.500 2.000 5.000 m<sup>2</sup> 0 Joor D4 - Aluminum 1 with PG X2 Stand 0.000 0.000 2.100 0.000 1.850 0.510 1.400 3.885 1.499 2.100 1.000 2.100 m<sup>2</sup> 0 92.320 m² 189.638 22.408 Total Glazing Area Aggregate Element Value 189.638 22.408 289.800 26.910 COMPLI-ANT ANT wable Values Natural Environment Control Storey : First Floor Height Width Area Shading G (m) P H PH U SHGC E A\*CU A\*S\*E Description Vindow W3 - Aluminum 1 with PG X1 plus 2.350 0.800 1.880 m<sup>2</sup> 0 1.200 0.330 3.550 0.046 3.650 0.550 1.400 6.862 1.448 Single Note of the second Double 2.750 3.000 8.250 m² 100 0.745 0.300, 4952, 001, 8500, 510 0.17015, 253 0.713 Window W14 - Aluminum 1 with PG X1 plus 3.200 1.365 4.368 m² 0 0.000 0.3303, 2000, 1.033, 6500, 550 1.250 15.943 3.003 Window W7 - Aluminum 1 with PG X1 plus 1.200 0.700 0.840 m² 80 0.515 1.250 1.715 1.6003, 6500, 550 0.1803, 066 0.083 Single 0.000 <t Window W3\_1 - Aluminum 1 with PG X1 plus 2.350 0.800 1.880 m² 0 1.200 0.330 3.550 0.0463.650 0.550 1.400 6.862 1.448 Window W3\_2 - Aluminum 1 with PG X1 plus 2.350 0.800 1.880 m² 0 1.200 0.330 3.550 0.0463.650 0.550 1.400 6.862 1.448 Window W3\_2 - Aluminum 1 with PG X1 plus 2.350 0.800 1.880 m² 0 1.200 0.330 3.550 0.0463.650 1.400 6.862 1.448 Single Instrumt 1 With PG X1 plus 2.350 0.800 1.880 m² 0 1.200 0.330 3.550 0.046 3.650 0.550 1.150 6.862 1.189 Single 2.350 0.800 1.800 11.200 0.330 1.500 1.100 < Window W3\_5 - Aluminum 1 with PG X1 plus 2.350 0.800 1.880 m² 0 1.200 0.330 3.550 0.046 3.650 0.550 1.150 6.862 1.189 Window W3\_6 - Aluminum 1 with PG X1 plus 2.350 0.800 1.880 m² 0 1.200 0.330 3.550 0.046 3.650 0.550 1.150 6.862 1.189 Window W2 - Aluminum 1 with PG X1 plus 1.200 0.900 1.080 m² 80 0.500 1.200 1.700 1.600 3.650 0.550 0.160 3.942 0.095 Window W9\_2 - Aluminum 1 with PG X1 plus 1.200 0.900 0.900 0.000 0.000 0.000 0.000 0.600 0.242 Window W9\_1 - Aluminum 1 with PG X1 plus 1.200 0.600 0.720 m² 0 0.000 0.000 1.200 0.600 0.242 Window W9\_1 - Aluminum 1 with PG X1 plus 1.200 0.600 0.720 m² 0 0.000 0.000 1.200 0.600 0.242 Single 1.200 0.600 0.720 m² 0 0.000 0.000 1.200 0.610 2.628 0.242 Single N.200 <t Window W9\_0 2 - Authinum 1 with PG X1 plus 1.200 0.600 0.720 m² 0 0.000 0.0001.2000.00013.650 0.550 0.610 2.628 0.242 Window W9\_4 - Aluminum 1 with PG X1 plus 1.200 0.600 0.720 m² 0 0.000 0.000 1.200 0.000 3.650 0.550 0.610 2.628 0.242 Window W1 - Aluminum 1 with PG X1 plus 1.200 0.600 0.720 m² 0 3.000 0.330 4.200 0.039 3.650 0.550 0.610 2.628 0.242 Window W1 - Aluminum 1 with PG X1 plus 1.200 0.600 0.720 m² 0 3.000 0.330 4.200 0.039 3.650 0.550 0.610 2.628 0.242 Single 0.300 0.300 0.300 0.300 0.300 0.200 0.200 0.478 Window W12 - Aluminum 1 with PG X1 plus 2.100 1.800 3.780 m² 0 0.300 3.000 2.400 1.250 3.650 0.550 0.230 13.797 0.478 Window W12 - Aluminum 1 with PG X1 plus 2.100 1.800 3.780 m² l0 0.300 3.000 1.200 5.000 Single Image: Constraint of the second Door D13 - Aluminum 1 with PG X1 plus Sin-ale 3.000 4.500 m² 0.200 2.500 3.200 0.781 3.650 0.550 0.280 49.275 2.079 Operation <t Door D10\_1 - Aluminum 1 with PG X1 plus 2.500 2.500 6.250 m<sup>2</sup> 0 0.000 2.000 2.500 0.800 3.650 0.550 0.260 22.813 0.894 Door D7 - Aluminum 1 with PG X1 plus Single 2.270 0.830 1.884 m<sup>2</sup> 0 0.000 0.000 0.000 0.650 0.610 6.877 0.632 Door D11 - Aluminum 1 with PG X1 plus Single 2.270 1.884 m<sup>2</sup> 0 0.000 0.000 0.000 0.650 0.610 6.877 0.632 Upoor D11 - Aluminum 1 with PG X1 plus Sin-gle 3.000 3.700 11.100 m<sup>2</sup> 0 0.450 1.200 3.480 3.650 0.550 0.400 40.515 2.442 Door D9 - Aluminum 1 with PG X1 plus Single 2.500 2.400 6.000 m<sup>2</sup> 80 0.450 1.200 2.950 1.600 3.650 0.550 0.380 21.900 1.254 Total Glazing Area 88.162 1 0 1 1 0 1 2 4 2 4 2 4 2 4 2 4 2 4 2 Total Glazing Area 306.942 24.440 Aggregate Element Value 306.942 24.440 352.800 32.760 COMPLI-ANT ANT Allowable Values Natural Environment Control

#### **Fenestration - Mechanical Ventilation**

#### Storev : Basement

Facade # Mark Height Width Area Energy Value Compliance Storey : Ground Floor

Facade #	Mark	Height	Width	Area	Energy Value	Compliance
N						
	D14 - Aluminum 1 with PG X2 Stand Double	2.500	5.300	13.250 m²	0.774	
	D16 - Aluminum 1 with PG X2 Stand Double	2.500	5.000	12.500 m²	2.752	
	D17 - Aluminum 1 with PG X2 Stand Double	2.500	4.600	11.500 m²	2.531	
	Aggregate Element Value				6.057	
	Allowable air-conditioning value				15.004	Compliant

Facade #	Mark	Height	Width	Area	Energy Value	Compliance
N1						
	W10 - Aluminum 1 with PG X2 Stand Double	2.750	3.000	8.250 m²	2.109	
	D13 - Aluminum 1 with PG X1 plus Single	3.000	4.500	13.500 m²	4.360	
	Aggregate Element Value				6.470	
	Allowable air-conditioning value				30.360	Compliant

#### Services - Light and Power

Light 1	73	8.000	5	584.000	8.000	7.000	1 700.608
Name	Number of Lamps	Wattage	Т	otal Wattage	Hours/Day	Days/Week	Annual kW/h
(	1						
Total Annua Lights (kWh	l Energy Cons	umption -	1 700	.608 kWh		Compliant	
Total Lamp	Energy Deman	nd (W)	584.0	00 W		Compliant	
Allowable M tion per Ann	ax Energy Cor ium	nsump-	2 880	.000 kWh			
Allowable M	ax Energy Der	mand	2 880	W 000.			

#### Services - Hot Water

ot Water Demands	
100% Per Day (MIN)	66 240.000 L
100% Per Day (MAX)	80 640.000 L
100% Per Annum (MIN)	24 111 360.000 L
100% Per Annum (MAX)	29 352 960.000 L
50% Per Day (MIN)	33 120.000 L
50% Per Day (MAX)	40 320.000 L
50% Per Annum (MIN)	12 055 680.000 L
50% Per Annum (MAX)	14 676 480.000 L

#### Pipe Size

Number of People	Accommodation Type	Pipe Size
576.000	Dwelling houses - High rental : 115- 140 L/capita/day	< 80mm

Gross Ground Storey Area	207.000 <b>m</b> <sup>2</sup>
Slab On Ground	Yes
InSlab Heating	No
Suspended Floor	Yes
Suspended Floor Heating	No

#### Slab Insulation Requirements

Gross ground storey area < 500 m<sup>2</sup>, with a concrete slab-on-ground, shall have insulation installed around the vertical edge of its perimeter which shall

\* have an R-value of not less than 1.0, \* resist water absorption in order to retain its thermal insulation properties, and be continuous from the adjacent finished

ground level

1. to a depth of not less than 300 mm, or

2. for the full depth of the vertical edge of the concrete slab-on-ground.

Suspended Floor Insulation Requirements

A suspended floor that is part of a building's envelope shall have insulation that shall retain its thermal properties under moist conditions and be insta zone 4 shall have insulation that shall retain its thermal properties under moist conditions and achieve a total R-value of

#### External Wall Construction

SANS 10400-XA	Required R-Value
Wall Type	Masonry
Minimum R-Value Required	0.35
Masonry Type	Other - With R value above 0.35
	Compliant

Wall Type Information

1. The following types of masonry walling comply with the R-value requirements:

a. double-skin masonry with no cavity, plastered internally, or rendered externally; or NOTE The cavity and grouted cavity walling systems exceed the minimum R-value of 0,35

b. single-leaf masonry walls with a nominal wall thickness greater than or equal to 140 mm (excluding plastering and rendering), plastered internally and rendered externally. The requirements refer to the external walls of the habitable portions of the building fabric only

2. For masonry walling types not covered in 4.4.3.2, such walls shall achieve a minimum total R-value of 0,35.

The total R-value shall be determined by means of a test conducted in accordance with ASTM C 1363. ASTM C 518 or ASTM C 177. Surface film resistance shall be in accordance with SANS 6946.

#### **Roof Assemblies** Minimum Tota

entilation/

**Direction Of H** 

**Basic Constru** 

## Total R-Value

Minimum adde Generic Insulation Thickness

# Air Infiltration and Leakage

Openings Openable Glazing

#### Non-Openable Glaz Chimney and FI

## Exhaust Fans

External Doors

**Roof, Walls and Floors** 

More information

\* Joints in sheeted roofs shall be sealed.

al R-Value required	3.70
leat Flow	Up
	Ventilated
uction	Ventilated - Roof 22 to 45 pitch horizontal ceiling, metal

cladding

#### Basic R-Value Requirements

			UP
Outdoor air film (7m/s)	0.0300		0.030
Metal cladding	0.0000		0.000
Roof air space (non-reflective)	0.4600		0.000
Plasterboard, gypsum(10 mm, 880 kg/m <sup>3</sup>	0.0600		0.060
Indoor air film (still air)	0.1600		0.110
Metal cladding	0.0000		0.000
Total R-Value	_		0.200
Minimum added R-Value required		3.500	

d R-Value required	3.500
ion	Rigid extruded polystyrene (XPS)
	0.090 m

Refer SANS 204 (4.4.2) - Minimising air infiltration - Roofs

		For openable Glazing shall be 2L/s per sqm
zing	g	For Non- openable Glazing shall be 0,3L/s per sqm
lu	es	
	No SANS Requirements	

Serving a Conditioned Space Exhaust Fans shall be fitted with a sealing device such as a self-closing damper or filter

External swing doors External swing doors shall be fitted with a draught protection device to the bottom edge on each leaf

Serving a Condi-tioned Space Roofs, external walls, external floors and any opening such as glazing or door in the external fabric, shall be constructed to min mize air leakage. The building sealing can be done by methods such as caulking, or adding skirting, architraves or cornices

\* Ceiling voids and attics shall be designed so as to minimize air infiltration.

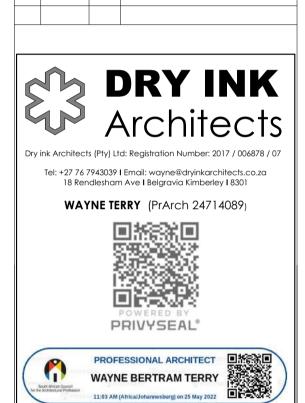
\* Wall plate and roof junctions shall be sealed.

\* Tile roofs shall have a tile underlay or radiant barrier and the joints shall be sealed.

#### GENERAL

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- immediately before commencing with any work. Written dimensions to be used in preference to scaled dimensions.
- Drawings may not be scaled from prints. All electrical and drainage work to be executed
- registered artisans. Where required, Architect's drawings to be read in conjunction with Engineer's drawings.
- Where required, Architect's drawings to be read in conjunction with Manufacturer's specification.

Rev	Date	By	Description
Ρ1	200919	WT	For information



Certificate by Competent person

This is to certify that the building design contemplate with the requirements of SANS 10400-XA an SANS 204



Approval by Representative

#### Stefan Botha Name of Client representative

10/05/2022

#### Project:

**PROPOSED NEW DWELLING** 

#### Client:

### Growtime Construction Pty Ltd

#### Address:

PLOT 12 ERF 13547 Sillery Private Estate Constantia Western Cape

## Drawing title

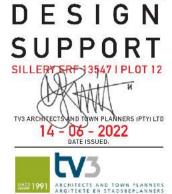
SANS XA

#### Drawing status

COUNCIL SUBMISSION			
Scale:	Drawn by:		
1:100 @ A1	WT		
Date:	Checked by: <b>WT</b>		

Drawing nr.:

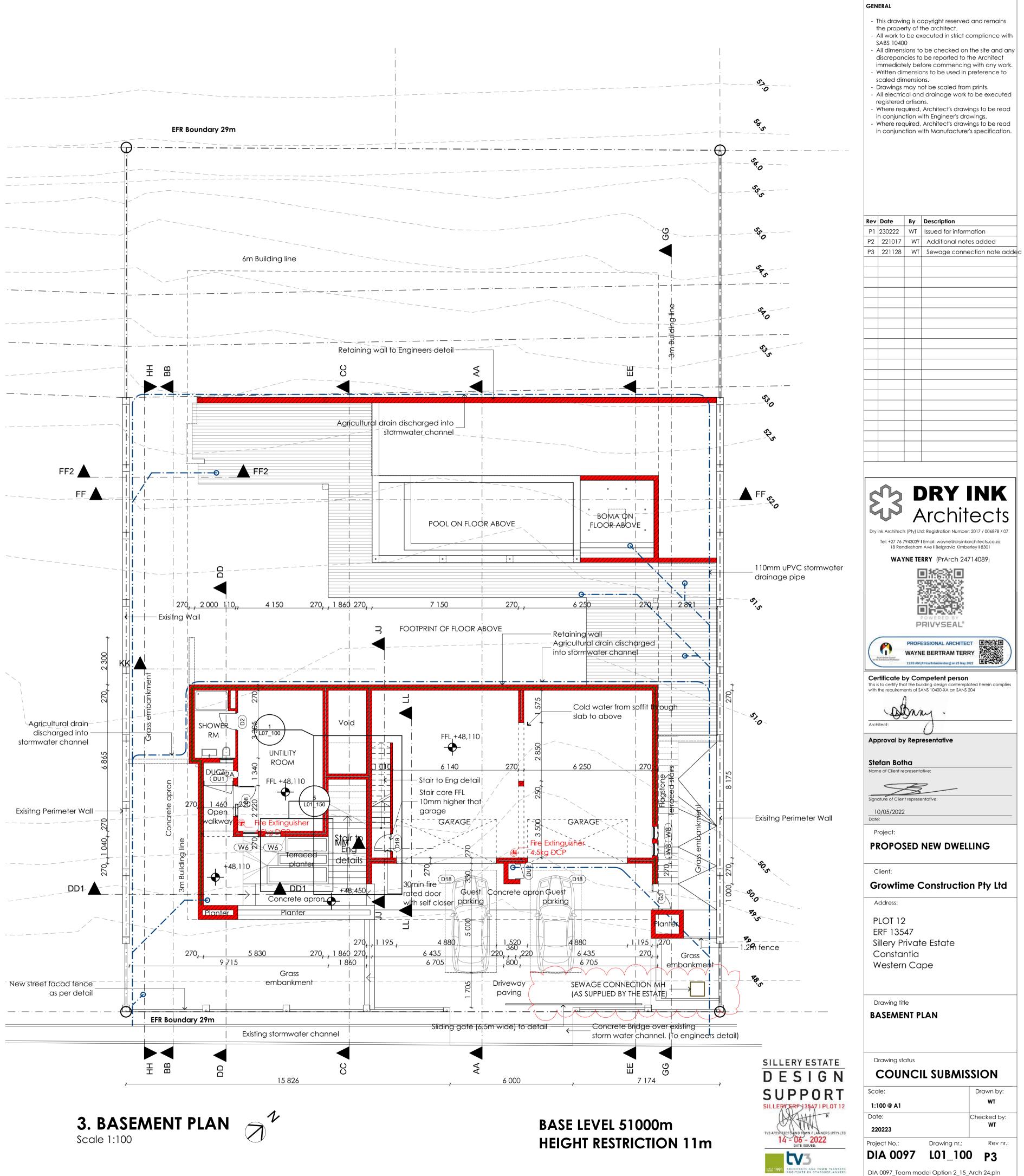
Rev nr.:

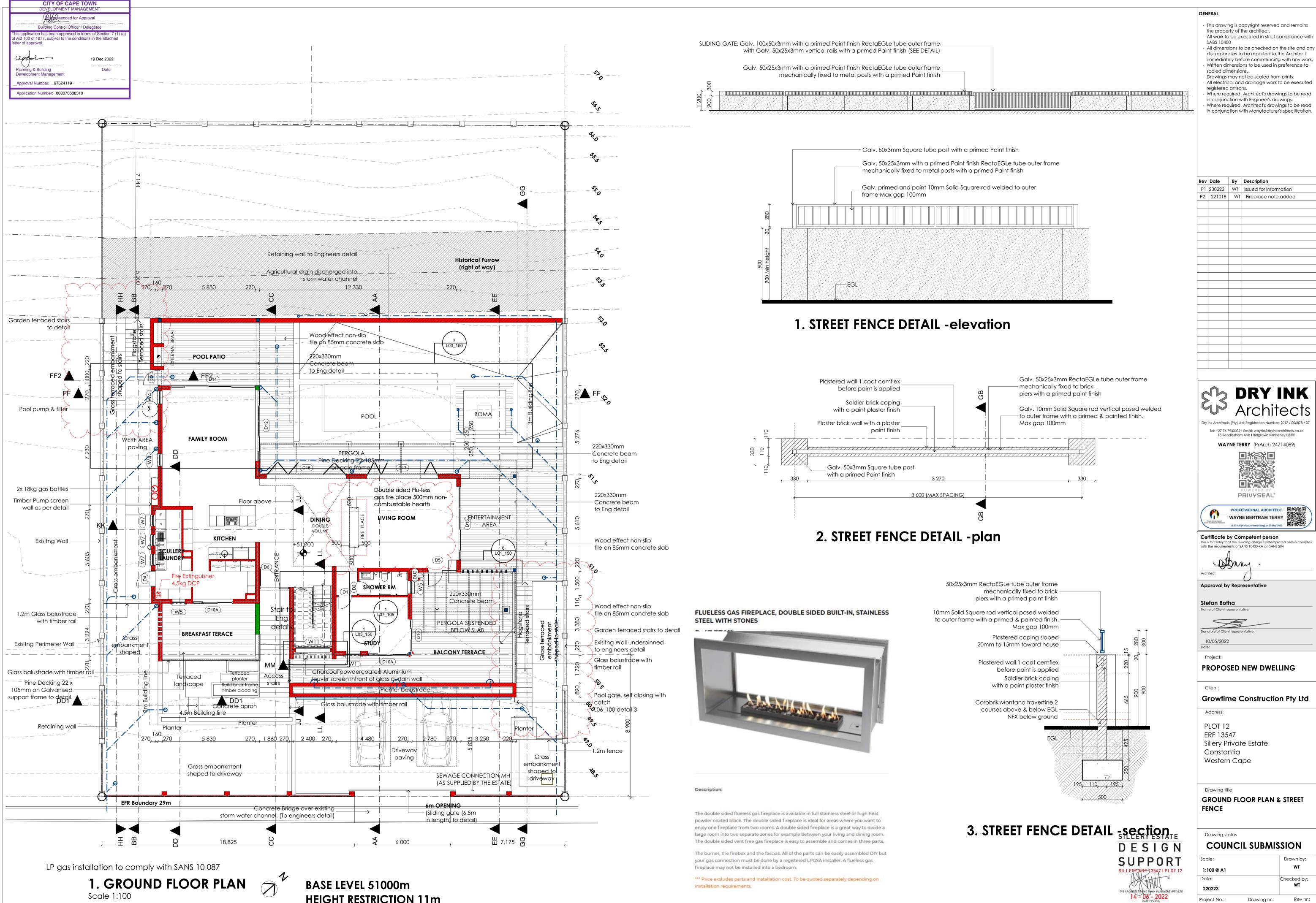


SILLERY ESTATE

190508 roject No.: DIA 0097 L00 098 P1

CITY OF CAPE TOWN				
DEVELOPMENT MA	NAGEMENI			
Building Control Officer / Delegetee				
This application has been approved in terms of Section 7 (1) (a) of Act 103 of 1977, subject to the conditions in the attached letter of approval.				
Upperlies 19 Dec 2022				
Planning & Building Date Development Management				
Approval Number: 97624119				
Application Number: 000070608310				





**HEIGHT RESTRICTION 11m** 

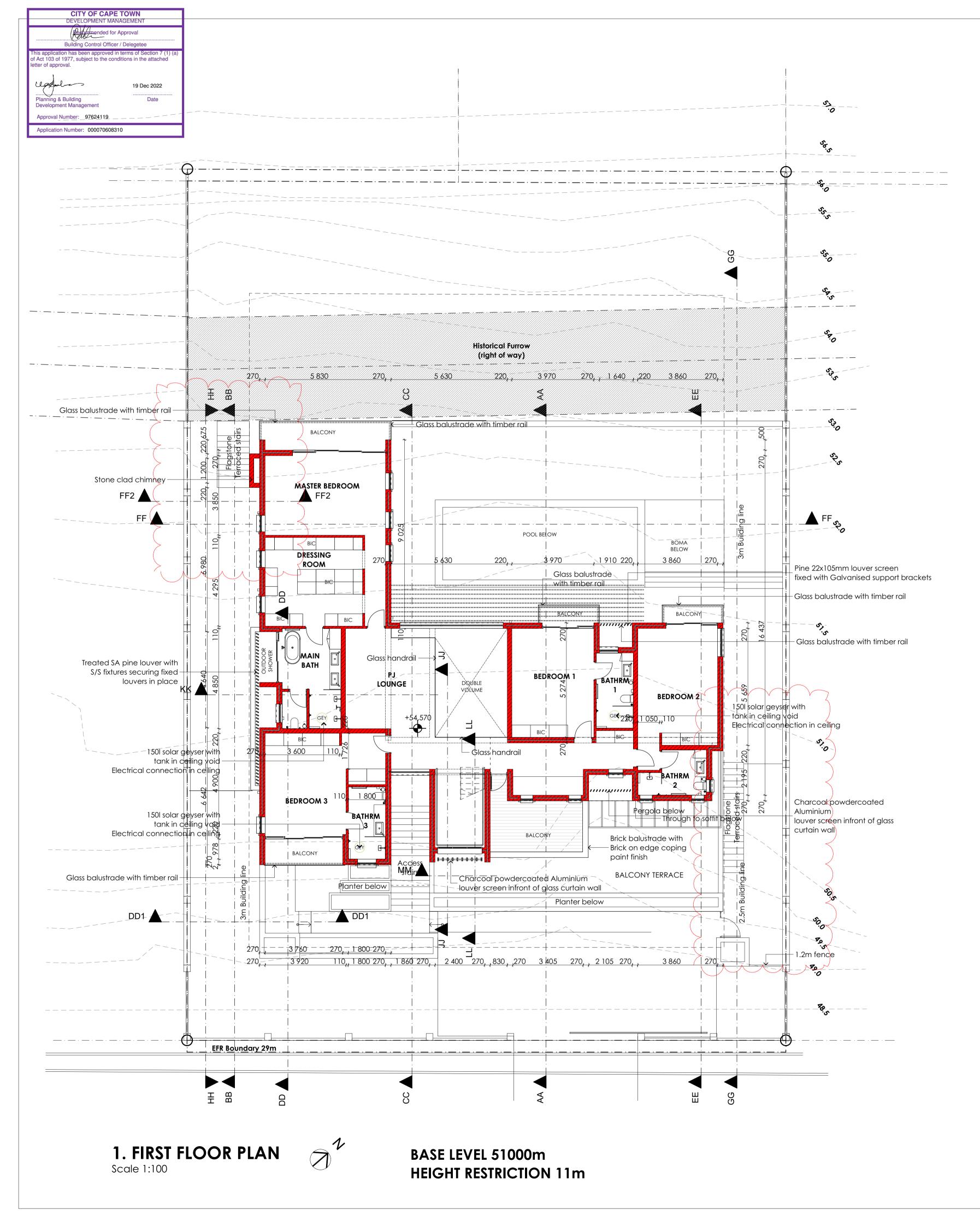
DIA 0097

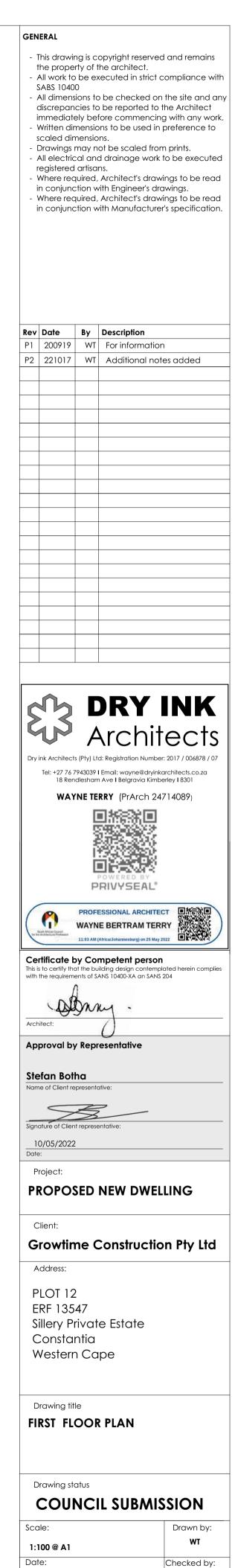
tv3

L01\_105

DIA 0097\_Team model Option 2\_15\_Arch 24.pln

P2







 DIA 0097
 L01\_110
 P2

 DIA 0097\_Team model Option 2\_15\_Arch 24.pln

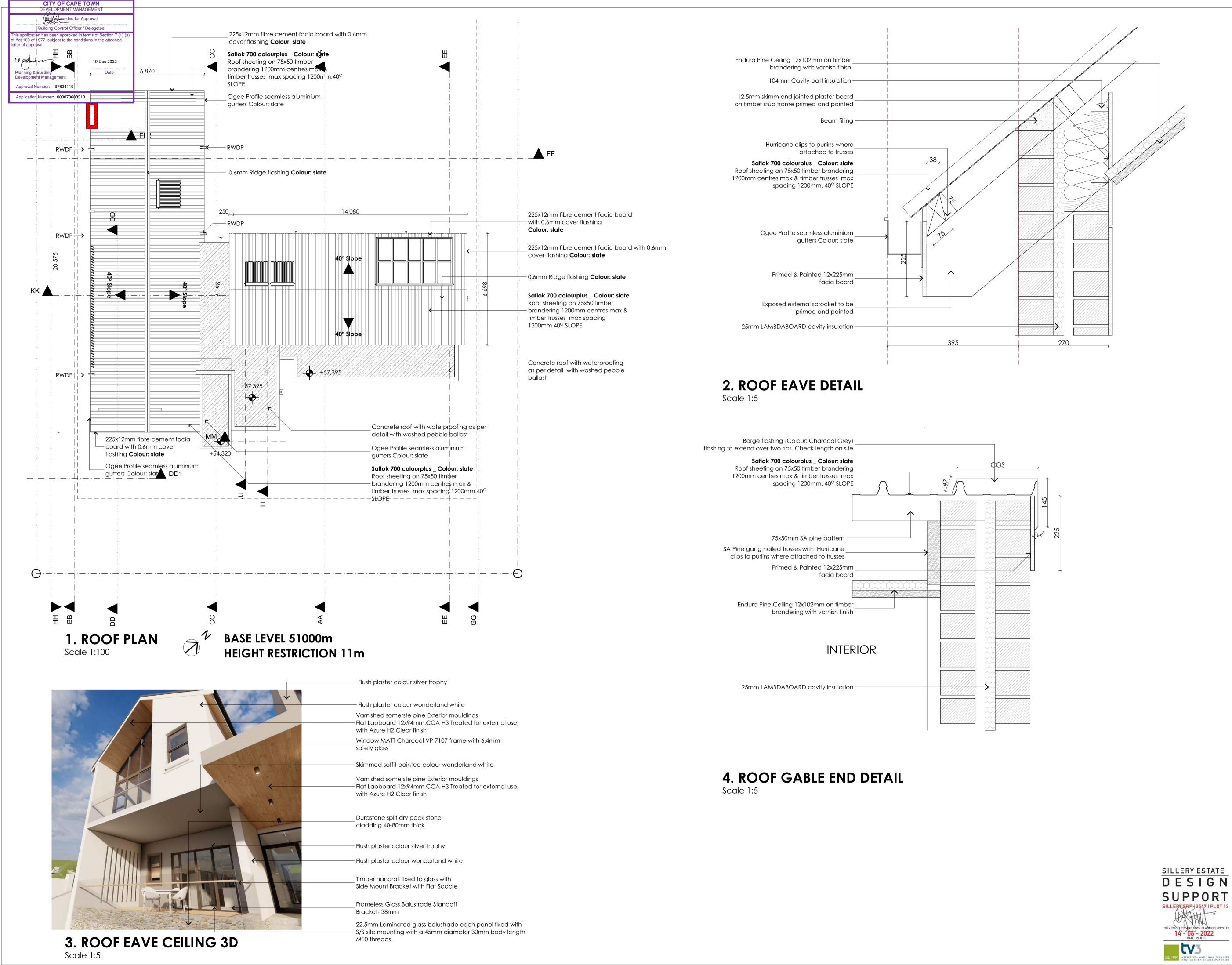
Drawing nr.:

220223

Project No.:

WT

Rev nr.:



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- Written dimensions to be used in preference to scaled dimensions.
- Drawings may not be scaled from prints. All electrical and drainage work to be executed
- registered artisans. Where required, Architect's drawings to be read
- in conjunction with Engineer's drawings. Where required, Architect's drawings to be read in conjunction with Manufacturer's specification.

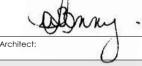
Rev Date By Description P1 200919 WT For information





Certificate by Competent person

This is to certify that the building design contemplate with the requirements of SANS 10400-XA an SANS 204



Approval by Representative

#### Stefan Botha lame of Client representative

5

10/05/2022

#### Project:

### **PROPOSED NEW DWELLING**

#### Client:

Growtime Construction Pty Ltd

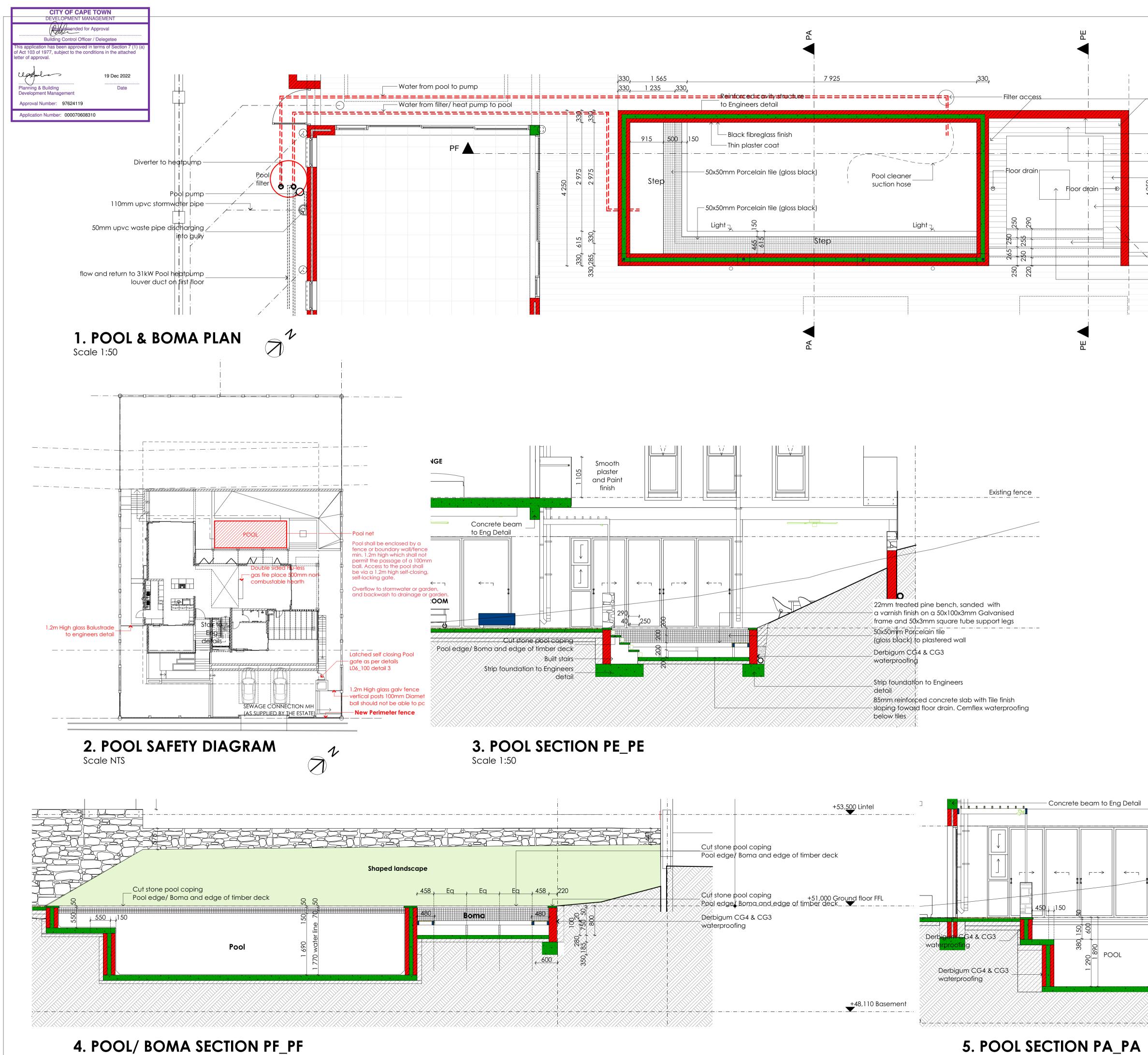
#### Address:

PLOT 12 ERF 13547 Sillery Private Estate Constantia Western Cape

Drawing title

**ROOF PLAN & DETAILS** 

COUNC	IL SUBMI	SSION
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Date:		Checked by:
220223		WT
Project No.:	Drawing nr.:	Rev nr.:
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DIA 0097_Team m	nodel Option 2_15	_Arch 24.pln



Scale 1:50

PRIVYSEAL PROFESSIONAL ARCHITECT Certificate by Competent person This is to certify that the building design contemplate with the requirements of SANS 10400-XA an SANS 204 Abany rchitect Approval by Representative Stefan Botha ame of Client representative S 10/05/2022 Project: **PROPOSED NEW DWELLING** Client: Growtime Construction Pty Ltd Address: PLOT 12 ERF 13547 Sillery Private Estate Constantia Western Cape Drawing title POOL AND BOMA PLAN \* 600 \* Derbigum CG4 & CG3 waterproofing SILLERY ESTATE Drawing status DESIGN COUNCIL SUBMISSION Perforated drainage pipe SUPPORT Scale: Drawn by: -Porous material WT 1:100 @ A1 Date: Checked by: WT 220223 14 - 06 - 2022 DATE ISSUED. Rev nr.: Project No.: Drawing nr.: tv3 DIA 0097 L01\_120 P2 DIA 0097\_Team model Option 2\_15\_Arch 24.pln

GENERAL

- ACO Self Euroline – with galvanised slotted grating

Seat: Treated pine 22mm decking smooth sanded

-sloping toward floor drain. Cemflex waterproofing

-30Mpa Mass concrete raised area 150mm in height

85mm reinforced concrete slab with Tile finish

Built stairs with a plaster layer and cemflex

water proofining below ceramic tiles

- 50x50mm Porcelain tile (gloss black)

-50mm uPVC connection pipe

and varnished on Galv frame

\_\_\_\_ PF

below tiles

SABS 10400

scaled dimensions.

registered artisans.

Rev Date By Description P1 200919 WT For information

P2 221017 WT Additional notes added

🔊 DRY INK

Dry ink Architects (Pty) Ltd: Registration Number: 2017 / 006878 / 0 Tel: +27 76 7943039 I Email: wayne@dryinkarchitects.co.za 18 Rendlesham Ave I Belgravia Kimberley I 8301 WAYNE TERRY (PrArch 24714089)

P1 200919 WT For information

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All work to be executed in strict compliance with

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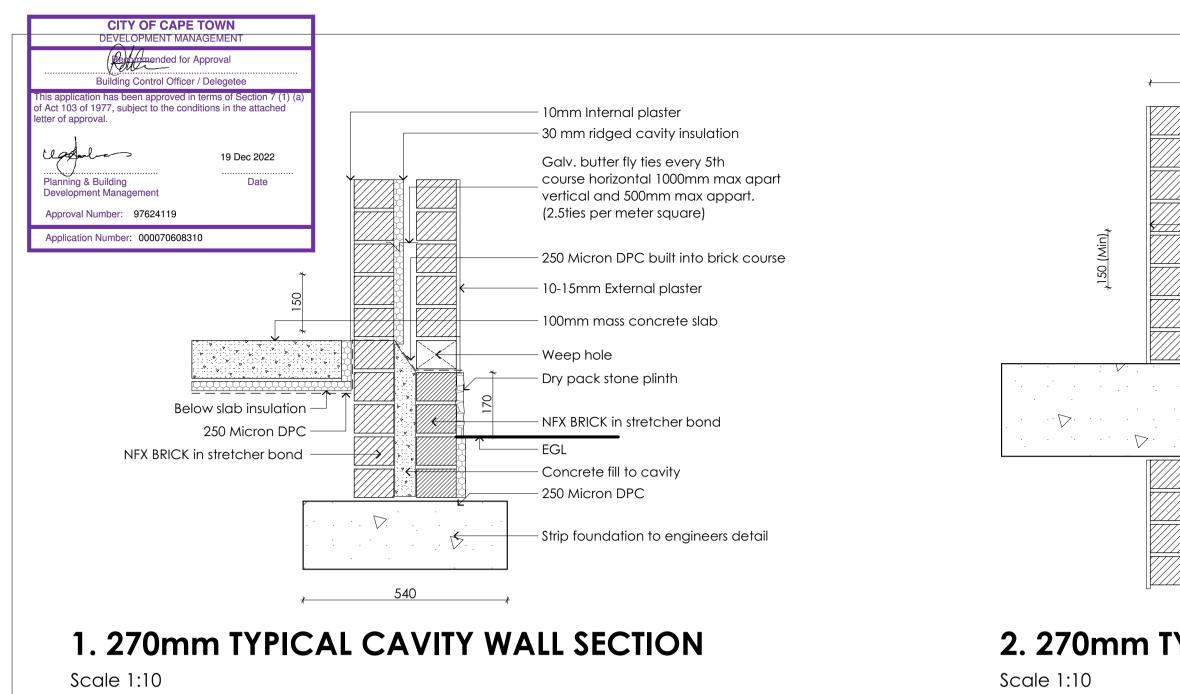
Written dimensions to be used in preference to

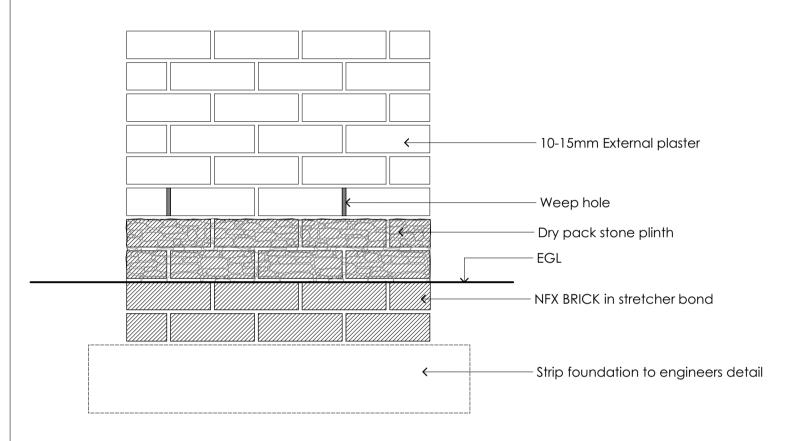
All electrical and drainage work to be executed

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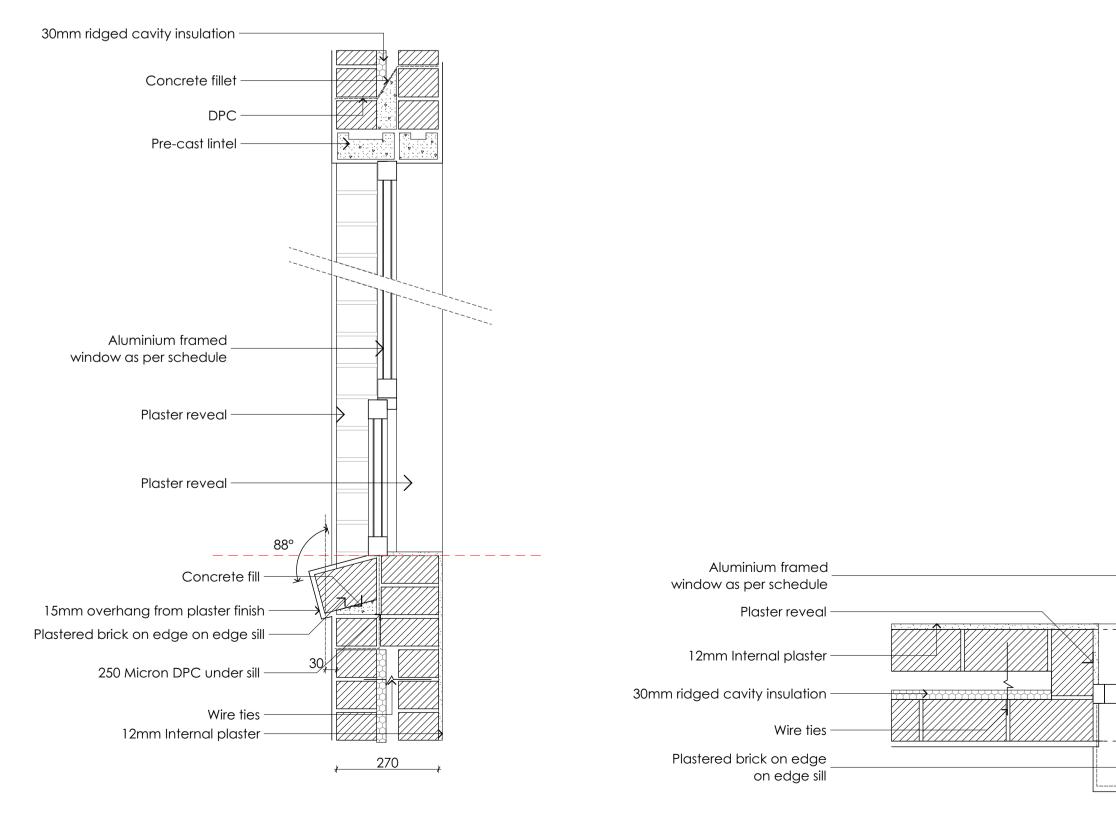
Drawings may not be scaled from prints.





## **3. 270mm TYPICAL CAVITY WALL ELEVATION**

Scale 1:10



## **4. WINDOW IN CAVITY WALL SECTION**

Scale 1:10

**5. WINDOW IN CAVITY WALL PLAN** 

Scale 1:10

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Galv. butter fly ties every 5th course horizontal 1000mm max apart
vertical and 500mm max appart. (2.5ties per meter square)
 30mm ridged cavity insulation
 - 10mm External plaster
 10mm Internal plaster
 Sika® Cemflex® mixed with Portland cement and water forms an effective waterproofing slurry that is used in conjunction with Cemflex® Fabric for:
Weep hole

Concrete fill to cavity

## 2. 270mm TYPICAL SLAB RETAINING DETAIL

### **GENERAL NOTES:**

CEMENT MORTAR TO MATCH COLOUR OF BRICKWORK.

WITH

A)

B)

1) 10mm DEEP SQUARE RECESSED HORIZONTAL AND VERTICAL JOINTS

2) WINDOW CILLS TO BE FACE BRICK ON EDGE WITH HOLES NEATLY

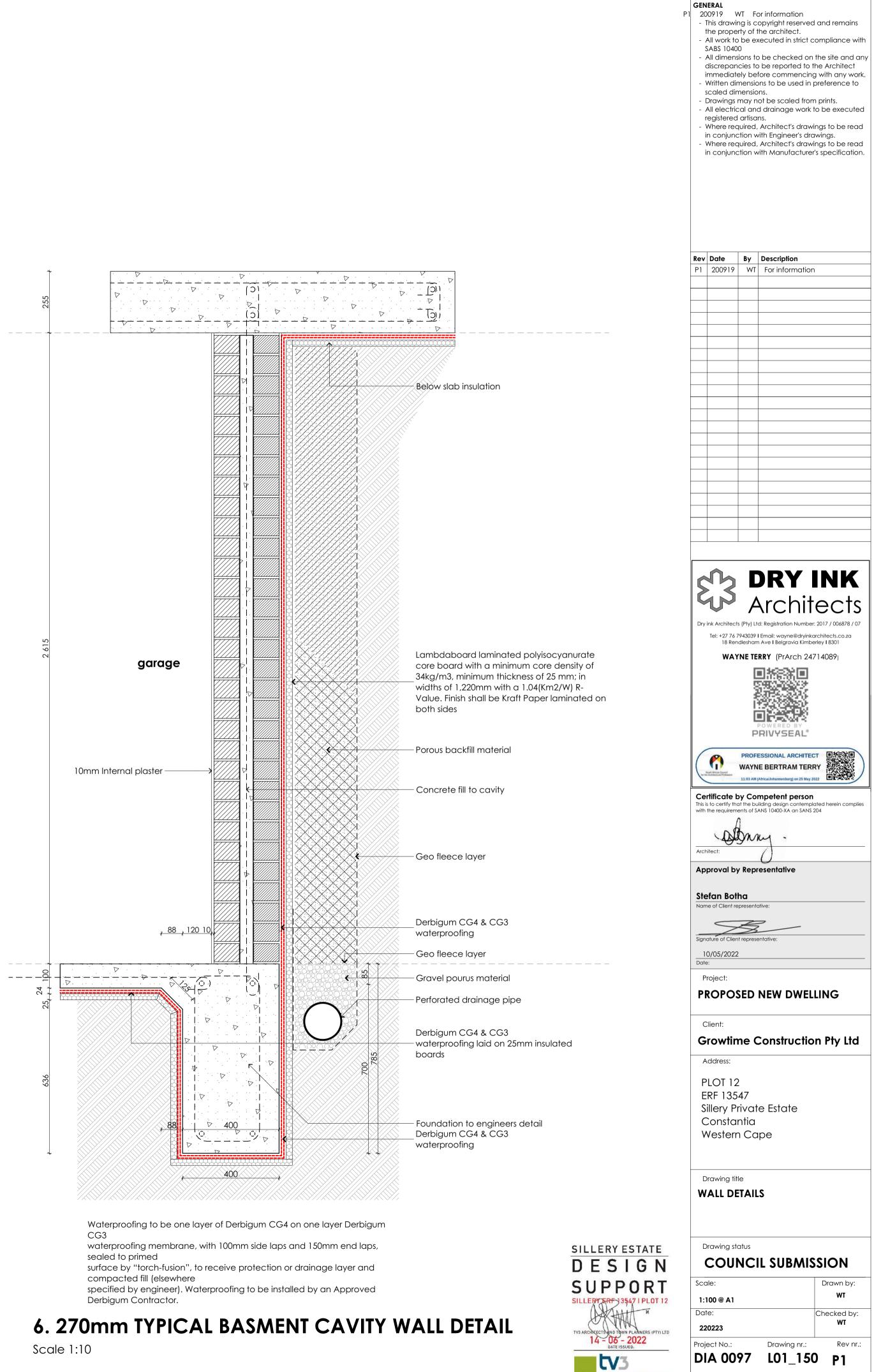
FILLED WITH CONCRETE AT SIDES. FACE BRICK ROLLER COURSE OVER ALL WINDOWS,

DOORS AND OPENINGS. 3) BRICK FORCE: EVERY COURSE UP TO FFL AND EVERY 4th COURSE

THEREAFTER. EVERY COURSE ABOVE ALL OPENINGS. EVERY 4th COURSE AT GABLES.

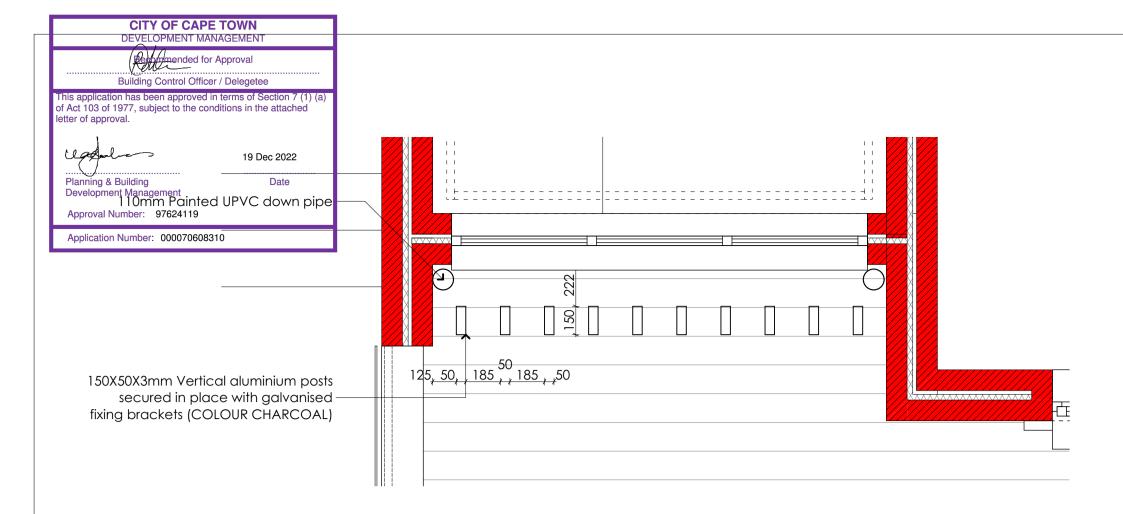
4) CAVITY WALLS - 110mm BRICK FORCE WITH BUTTERFLIES. ENSURE PROPER OVERLAPS OF BRICK FORCE GALV. BUTTER FLY TIES EVERY 5TH COURSE HORIZONTAL 1000mm MAX APART VERTICAL AND 500mm MAX APART. (2.5TIES PER METER SQUARE)

MORTAR MIX: 5MPA, MIXING RATIO 1:4 PLASTER MIX: MIXING RATIO 1:5 ABOVE DPC



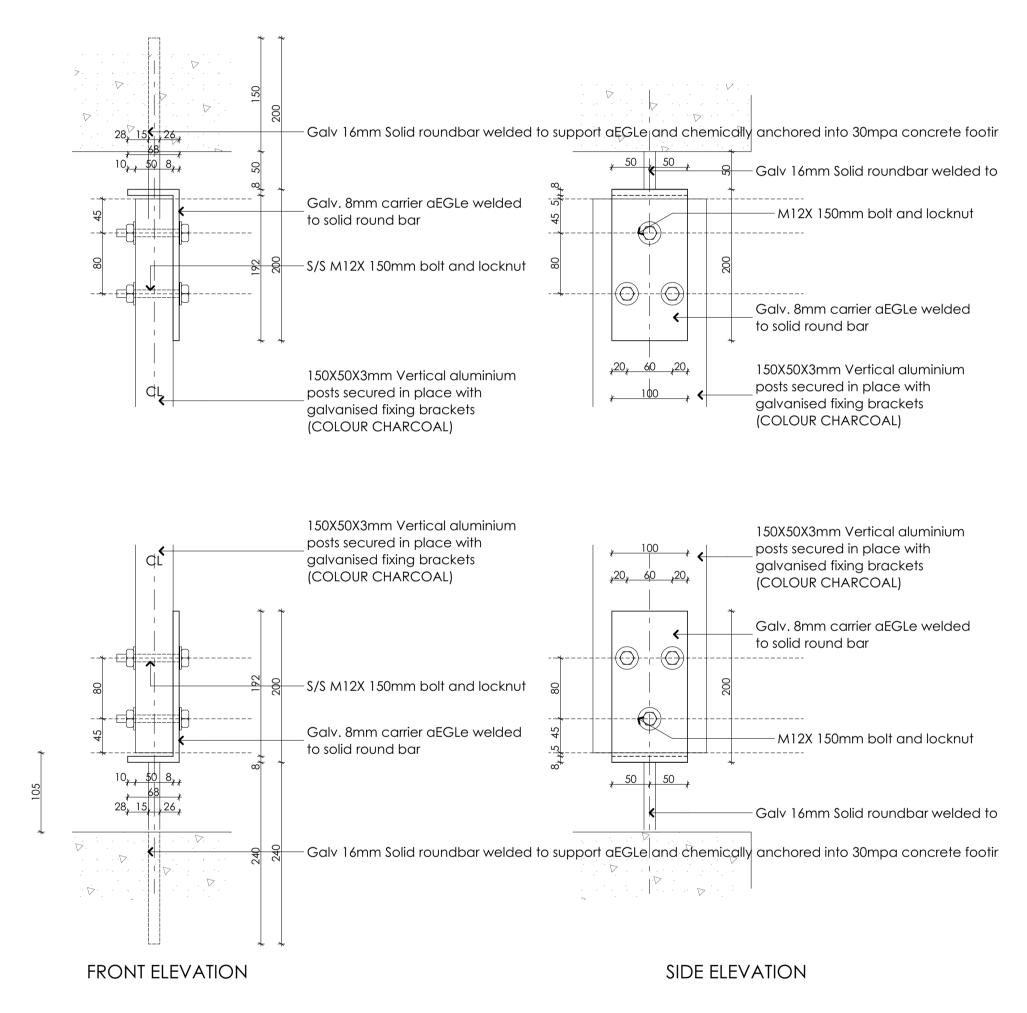
DIA 0097 L01\_150 P1

1991 ARCHITECTS AND TOWN P ARGITEKTE EN STADSBEP

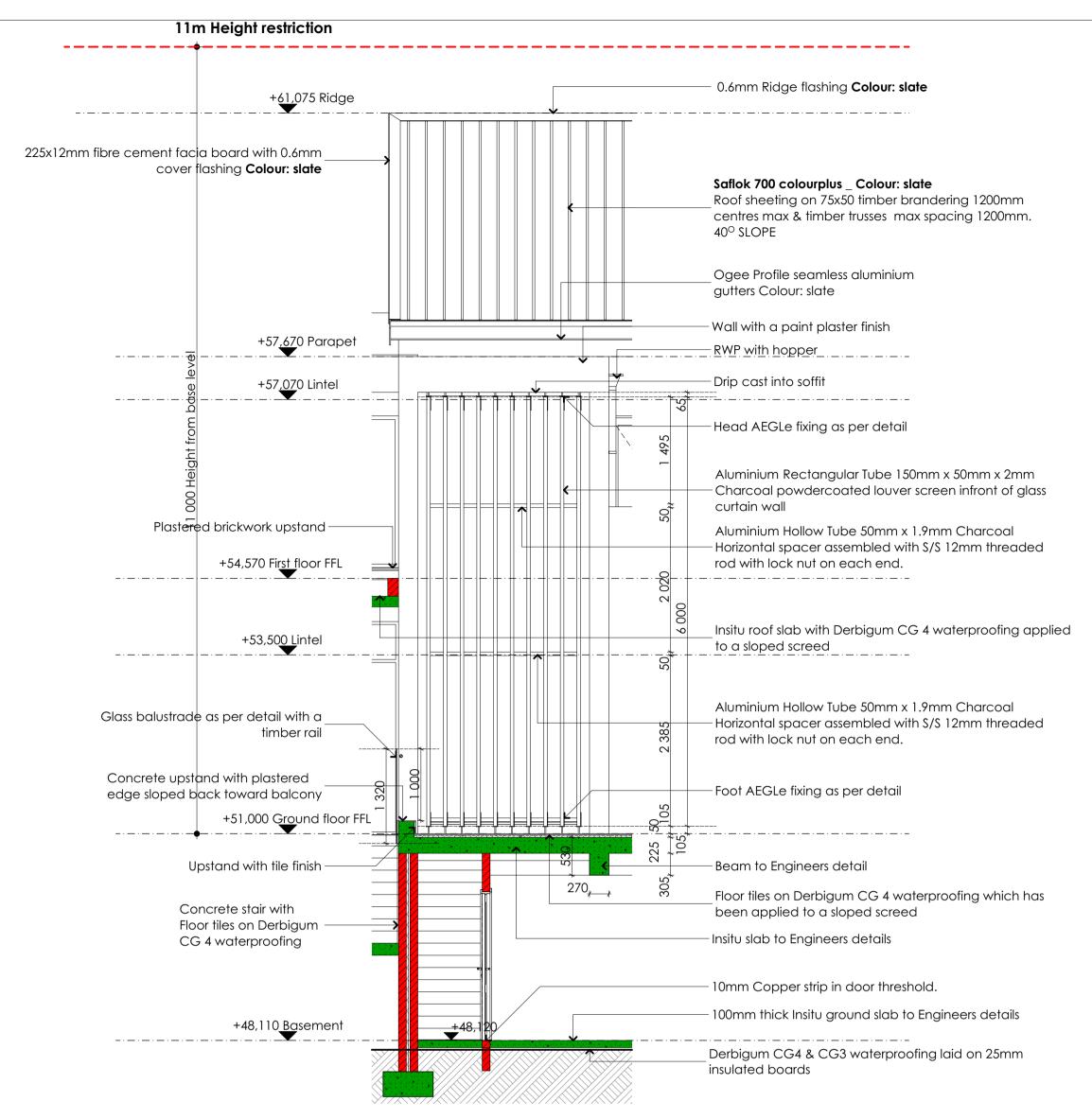


## **1. ENTRANCE LOUVER DETAIL- PLAN**

Scale 1:20



## 2. ENTRANCE LOUVER DETAIL- FIXING DETAIL Scale 1:5



## 3. ENTRANCE LOUVER ELEVATION

Scale 1:5



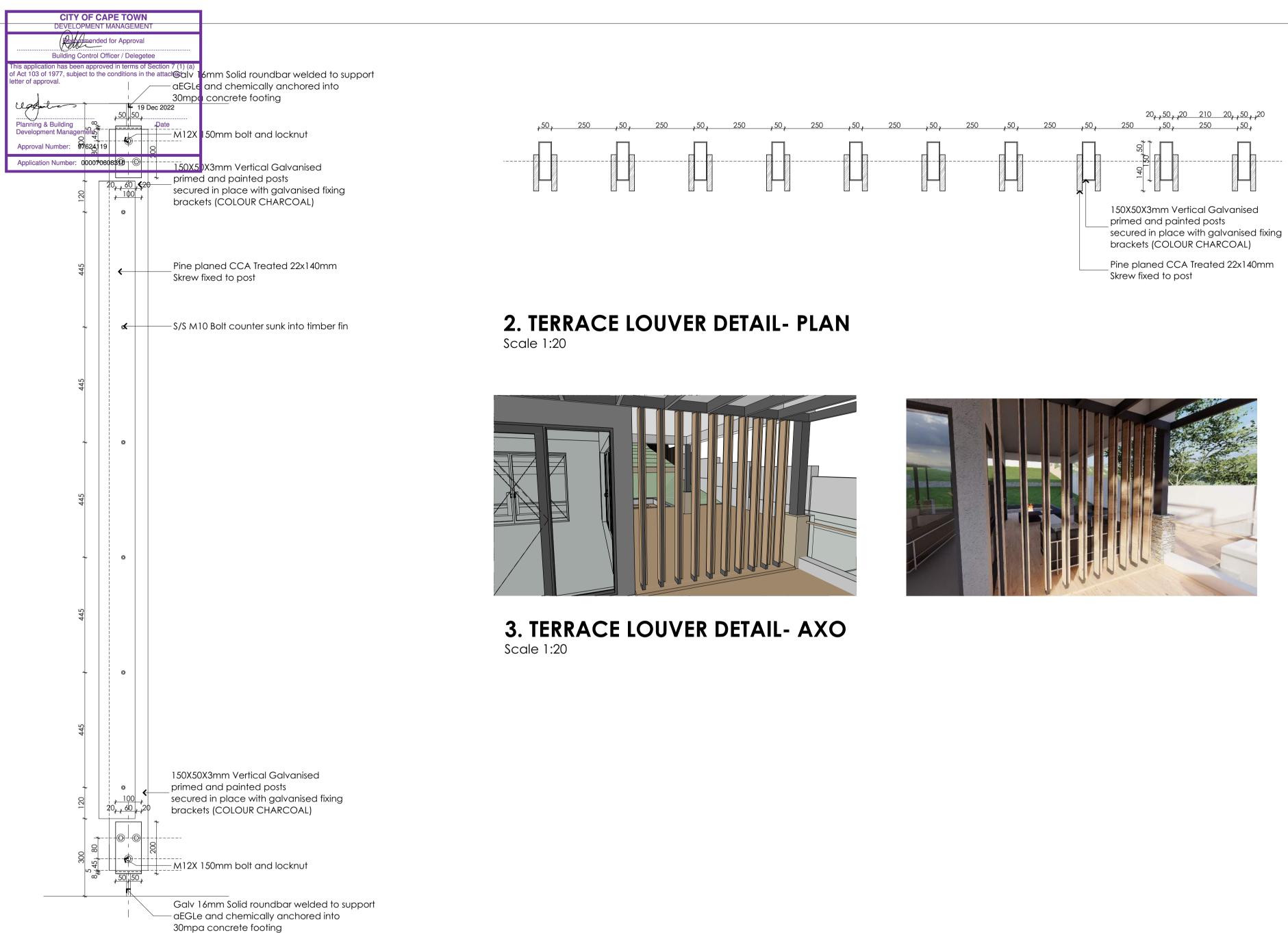
**4. ENTRANCE LOUVER DETAIL- AXO & RENDERING** Scale 1:20

i	the prope All work to SABS 1040 All dimens discrepan immediate	rty of t be ex 0 sions to cies to ely be	opyright reserved he architect. kecuted in strict c b be checked on b be reported to t fore commencing ons to be used in p	ompliance with the site and an he Architect g with any work.
-	All electric registered Where rec in conjunc Where rec	may n cal and artisa quired, ction w quired,	ot be scaled from d drainage work t	o be executed ngs to be read wings. ngs to be read
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			ilding design contemplo ANS 10400-XA an SANS 2	
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GENERAL

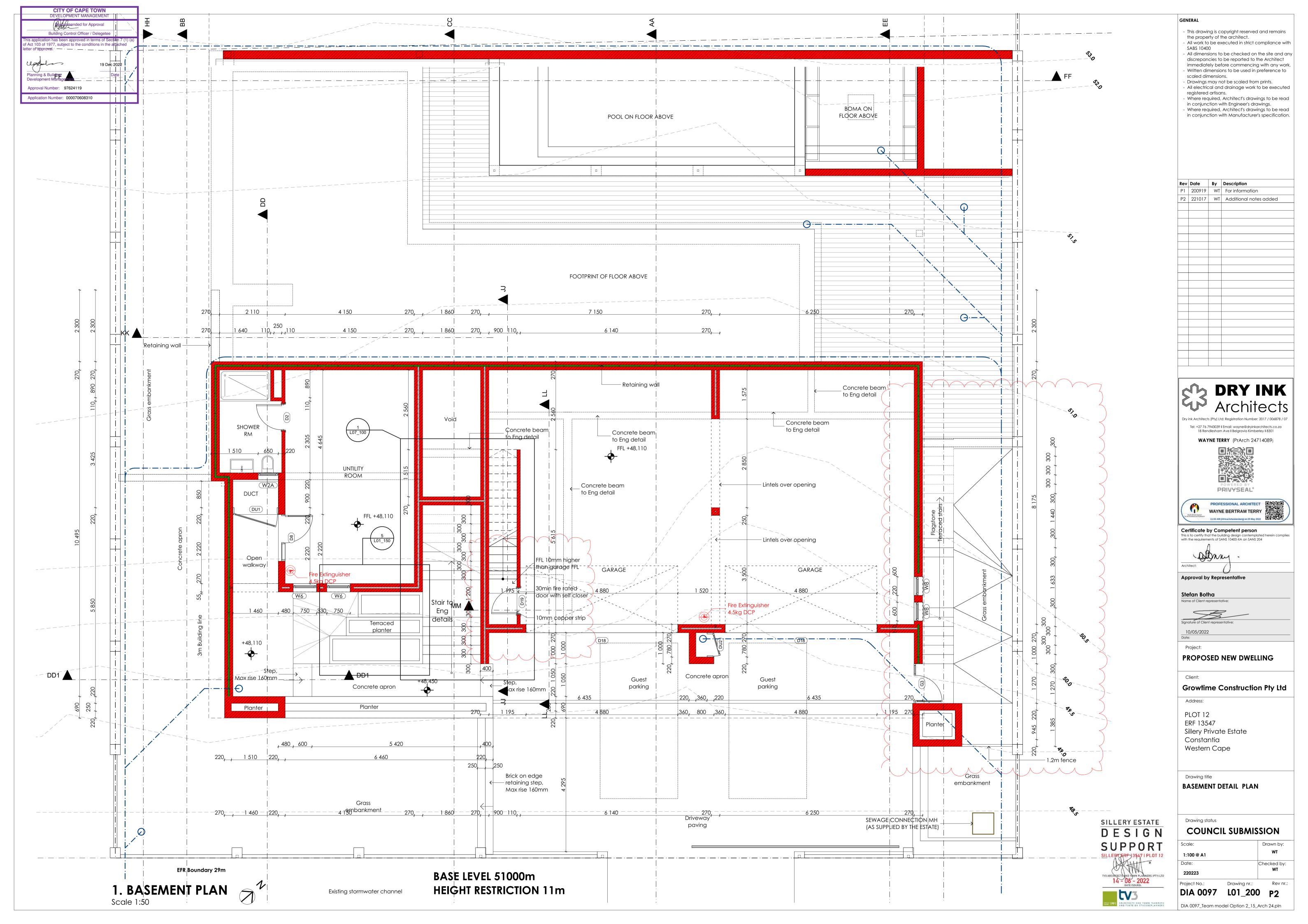


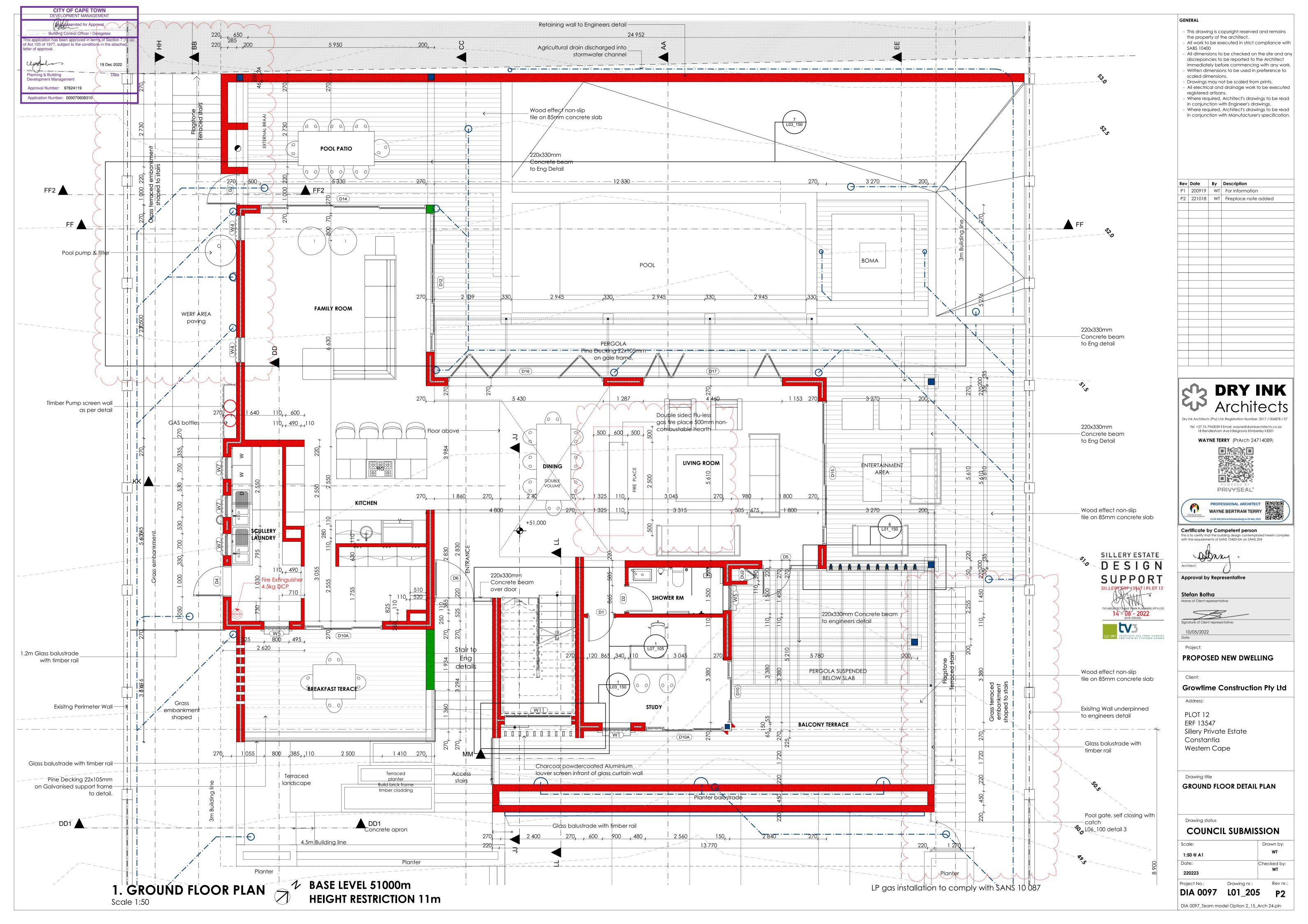


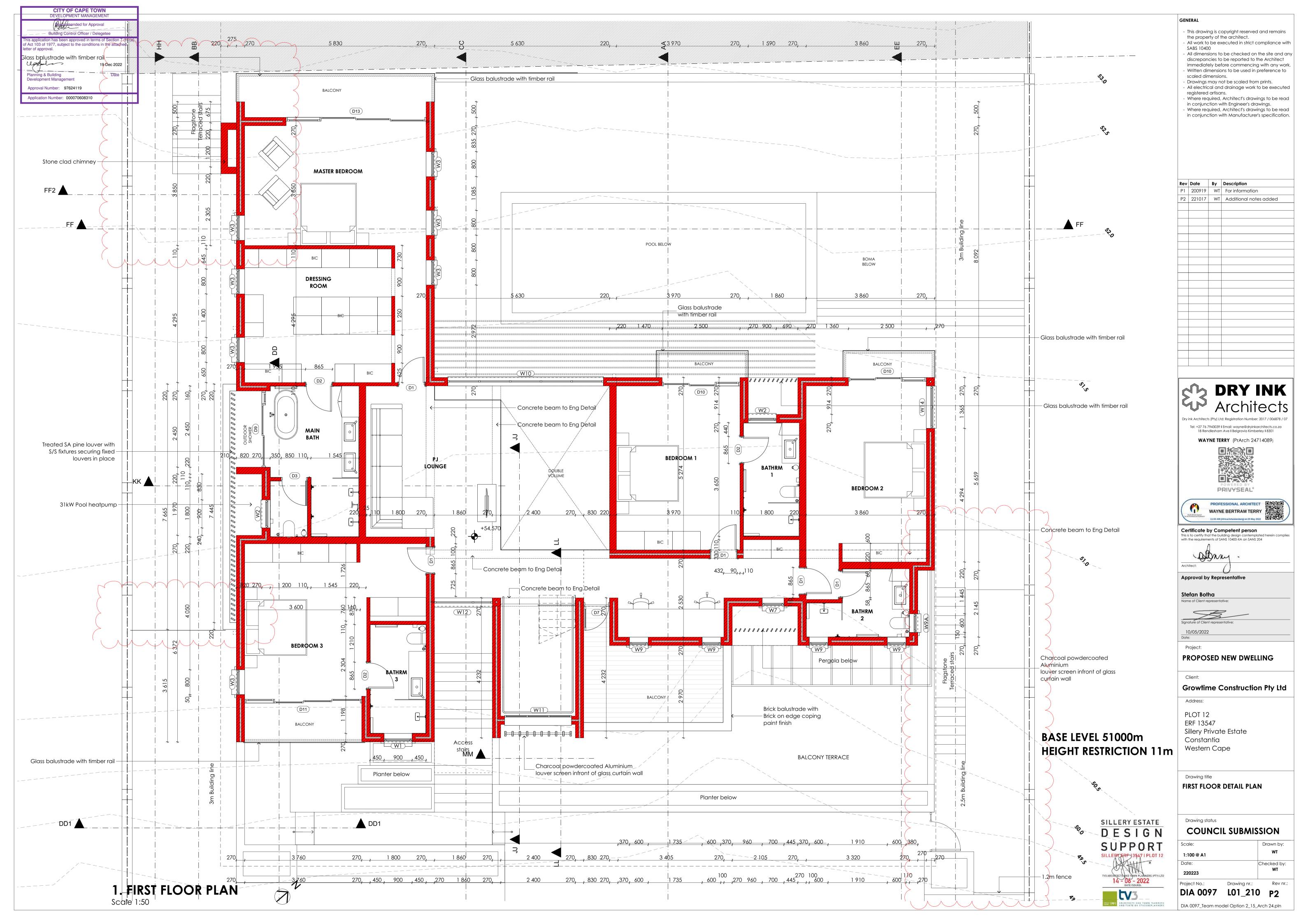
1. TERRACE LOUVER DETAIL- FIXING DETAIL Scale 1:5

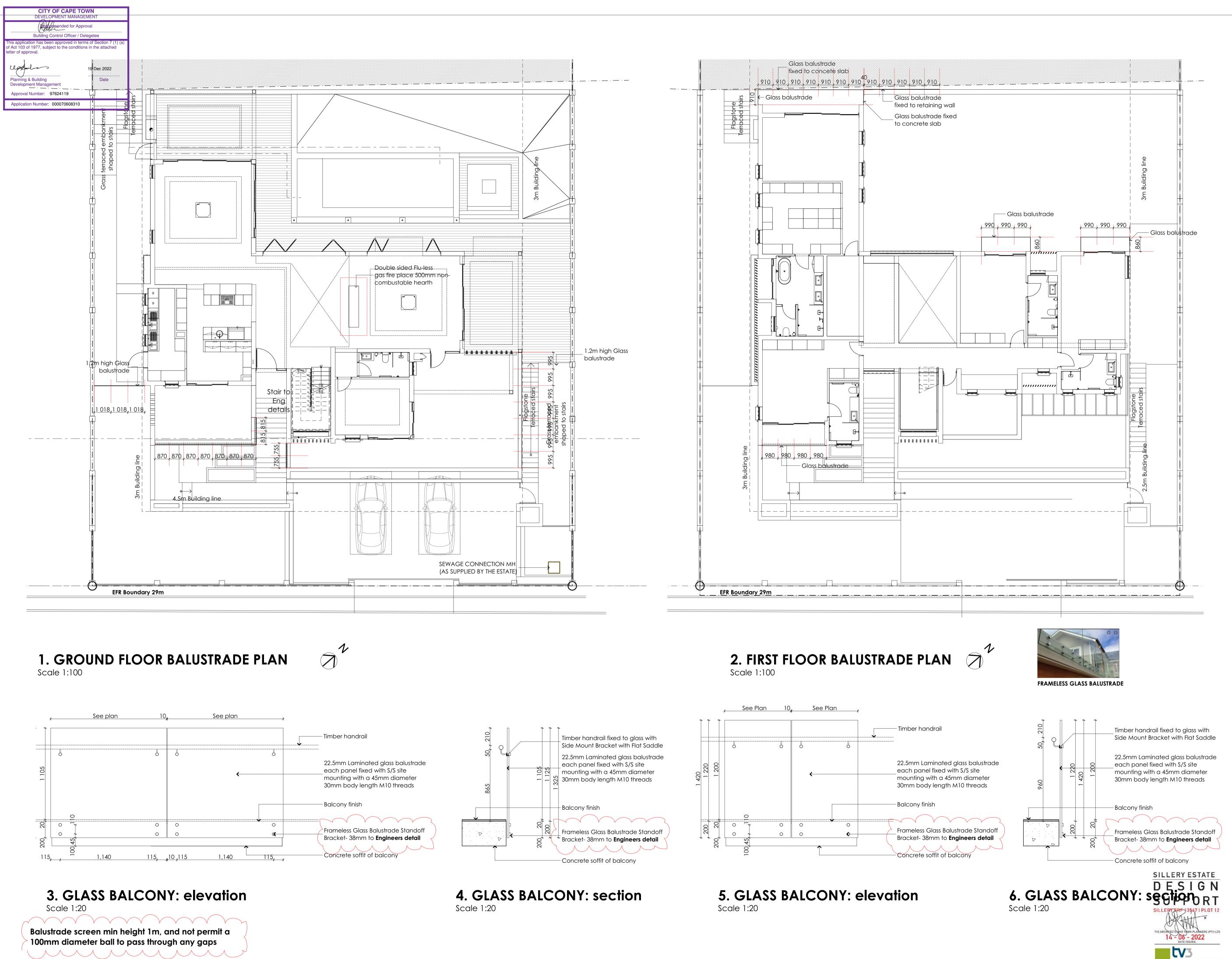
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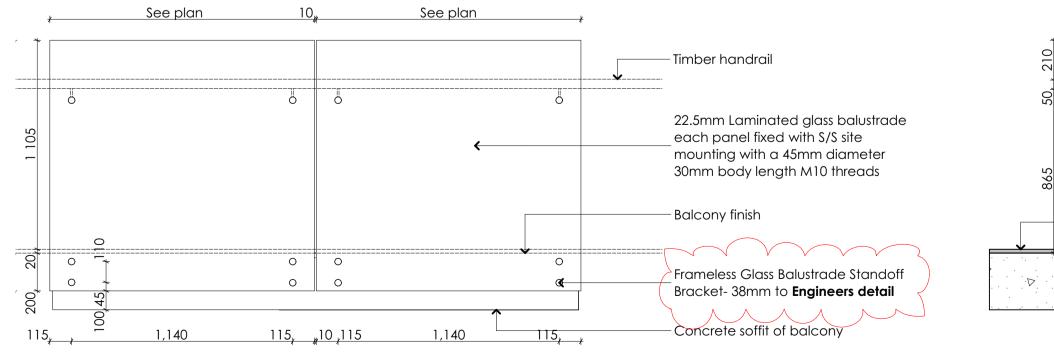




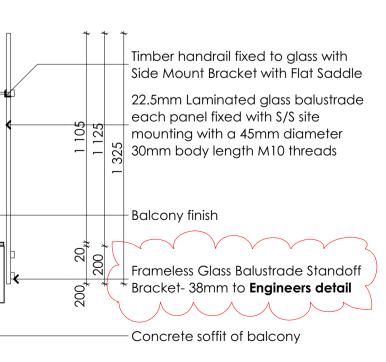


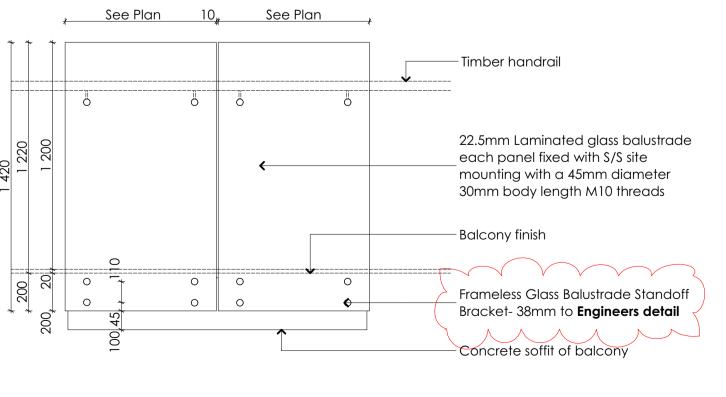












## All work to be executed in strict compliance with SABS 10400 All dimensions to be checked on the site and any discrepancies to be reported to the Architect immediately before commencing with any work. Written dimensions to be used in preference to scaled dimensions. Drawings may not be scaled from prints. All electrical and drainage work to be executed registered artisans. Where required, Architect's drawings to be read in conjunction with Engineer's drawings. Where required, Architect's drawings to be read in conjunction with Manufacturer's specification. Rev Date By Description P1 200919 WT For information P2 221017 WT Additional notes added **DRY INK** Architects Dry ink Architects (Pty) Ltd: Registration Number: 2017 / 006878 / 03 Tel: +27 76 7943039 I Email: wayne@dryinkarchitects.co.za 18 Rendlesham Ave I Belgravia Kimberley I 8301 WAYNE TERRY (PrArch 24714089) PRIVYSEAL PROFESSIONAL ARCHITECT Certificate by Competent person This is to certify that the building design contemplated with the requirements of SANS 10400-XA an SANS 204 Altry Architect Approval by Representative Stefan Botha Name of Client representative SB 10/05/2022 Project: **PROPOSED NEW DWELLING** Client: **Growtime Construction Pty Ltd** Address: PLOT 12 ERF 13547 Sillery Private Estate Constantia Western Cape Drawing title **BASEMENT & GROUND FLOOR BALUSTRADE PLAN** Drawing status COUNCIL SUBMISSION icale: Drawn by: WT 1:100 @ A1

GENERAL

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DIA 0097\_Team model Option 2\_15\_Arch 24.pln

DIA 0097 L01\_300 P2

Drawing nr.:

Checked by: WT

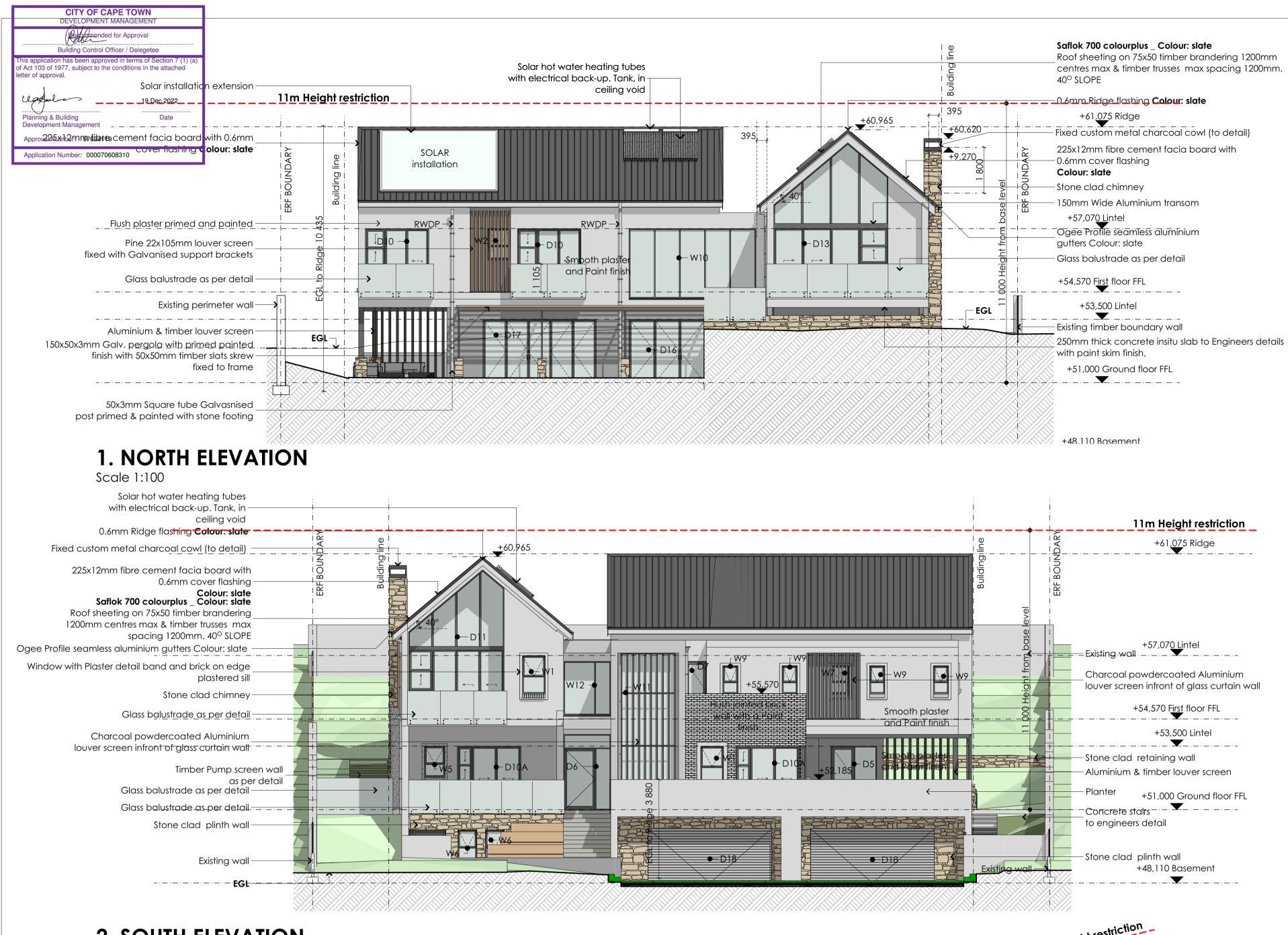
Rev nr.:

Date:

1991 ARCHITECTS AND TOWN PLAT ARGITEKTE EN STADSBEPLAT

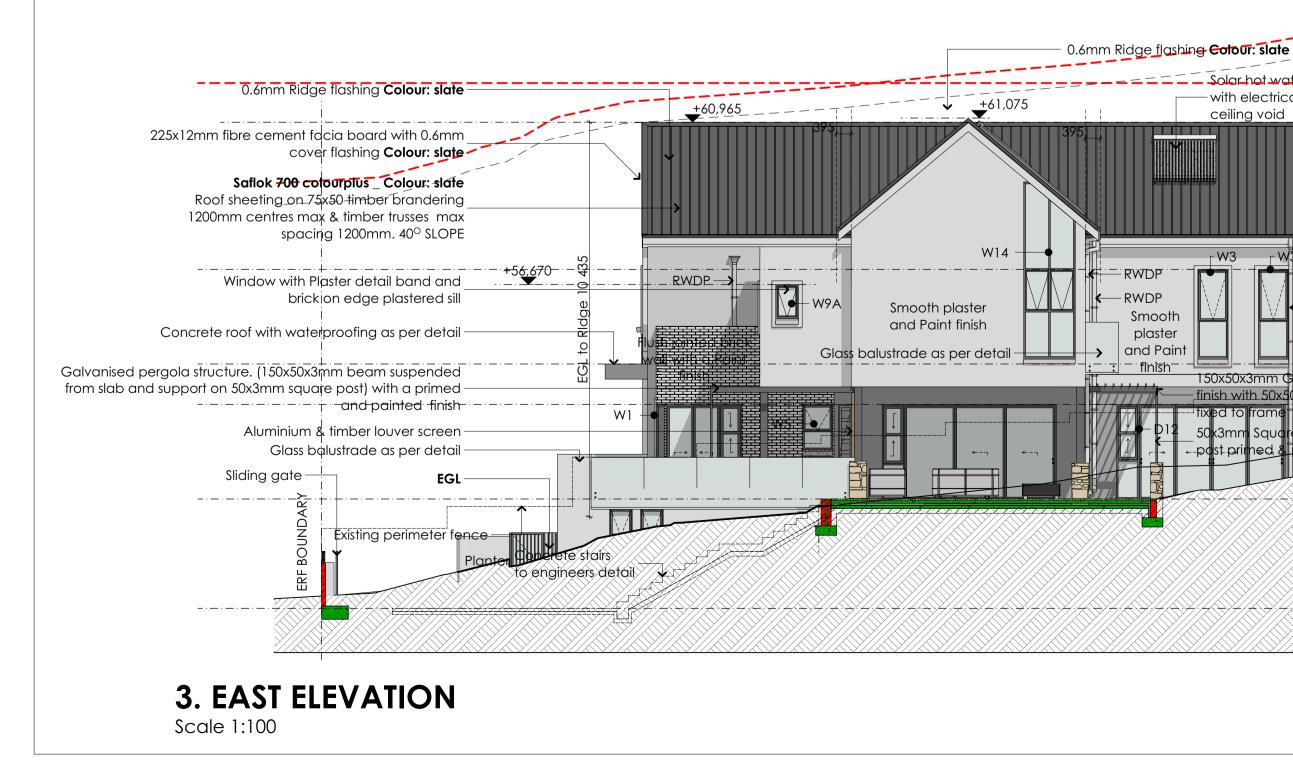
220508

Project No.:

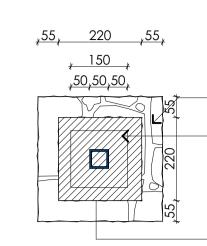


## 2. SOUTH ELEVATION

Scale 1:100



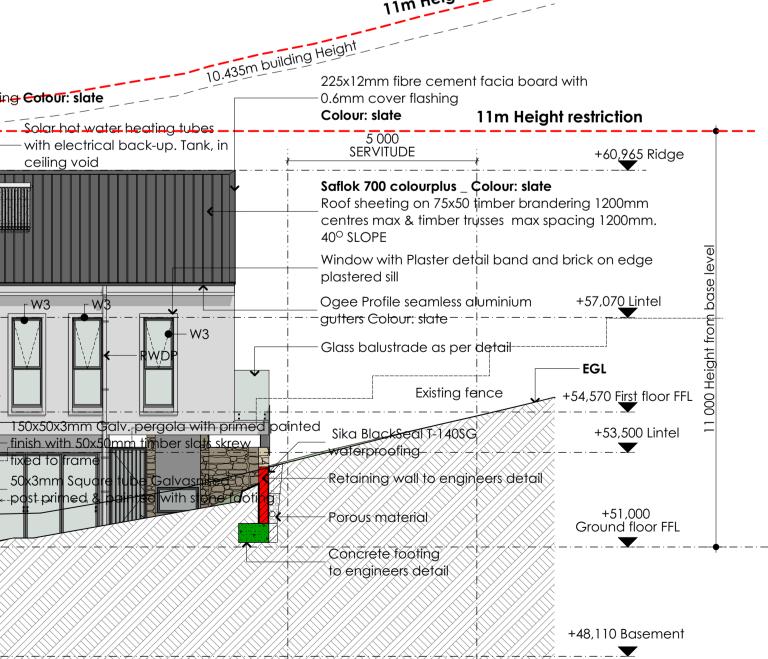
Saflok 700 colourplus _ Colour: slate Roof sheeting on 75x50 timber brandering 1200mm centres max & timber trusses max spacing 1200mm. 40° SLOPE
-0.6mm_Ridge_flashing <b>Colour: slate</b>
+61 <u>,07</u> 5 Ridge
Fixed custom metal charcoal cowl (to detail)
225x12mm fibre cement facia board with -0.6mm cover flashing <b>Colour: slate</b>
-Stone clad chimney
- 150mm Wide Aluminium transom
+57,07 <u>0 Li</u> ntel
Ogee Profile seamless aluminium gutters Colour: slate
- Glass balustrade as per detail
+54,570 First floor FFL
+53,500 Lintel
Existing timber boundary wall
250mm thick concrete insitu slab to Engineers details

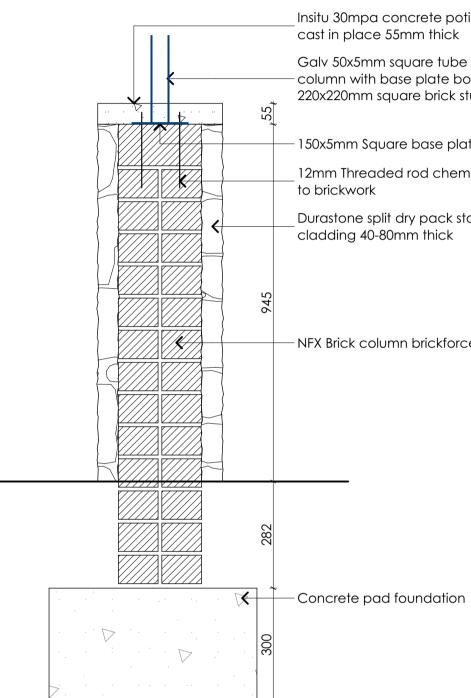


cladding 40-80mm thick - 150x5mm Square base plate

Galv 50x5mm square tube column with base plate bolted to 220x220mm square brick stub column

### **4. TYPICAL COLUMN DETAIL PLAN** Scale 1:5





## **5. TYPICAL COLUMN DETAIL SECTION** Scale 1:5

### **GENERAL COMMENTS:** All beams to engineers detail Roof truss design to suppliers detail

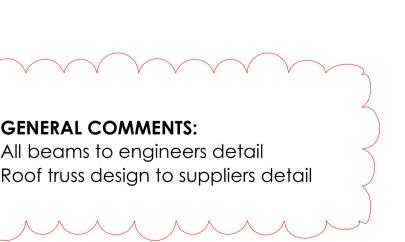
Durastone split dry pack stone

Insitu 30mpa concrete poting cast in place 55mm thick

- column with base plate bolted to 220x220mm square brick stub column

- 150x5mm Square base plate 12mm Threaded rod chemically anchored Durastone split dry pack stone

- NFX Brick column brickforce every course



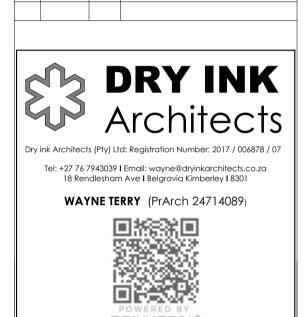
SILLERY ESTATE DESIGN SUPPORT SILLERY ERF 13547 | PLOT 12 14 - 06 - 2022 DATE ISSUED: tv3

1991 ARCHITECTS AND TOWN -ARGITEKTE EN STADSBEP

GENERAL

- This drawing is copyright reserved and remains
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- immediately before commencing with any work. Written dimensions to be used in preference to scaled dimensions.
- Drawings may not be scaled from prints. All electrical and drainage work to be executed
- registered artisans. Where required, Architect's drawings to be read in conjunction with Engineer's drawings.
- Where required, Architect's drawings to be read in conjunction with Manufacturer's specification.

Rev Date By Description P1 200919 WT For information P2 221017 WT Additional notes added





Certificate by Competent person This is to certify that the building design contemplate with the requirements of SANS 10400-XA an SANS 204



#### Stefan Botha Name of Client representativ

Sta

10/05/2022

#### **PROPOSED NEW DWELLING**

#### Client:

Project:

**Growtime Construction Pty Ltd** 

#### Address:

PLOT 12 ERF 13547 Sillery Private Estate Constantia Western Cape

Drawing title **ELEVATIONS** 

#### Drawing status

oject No.

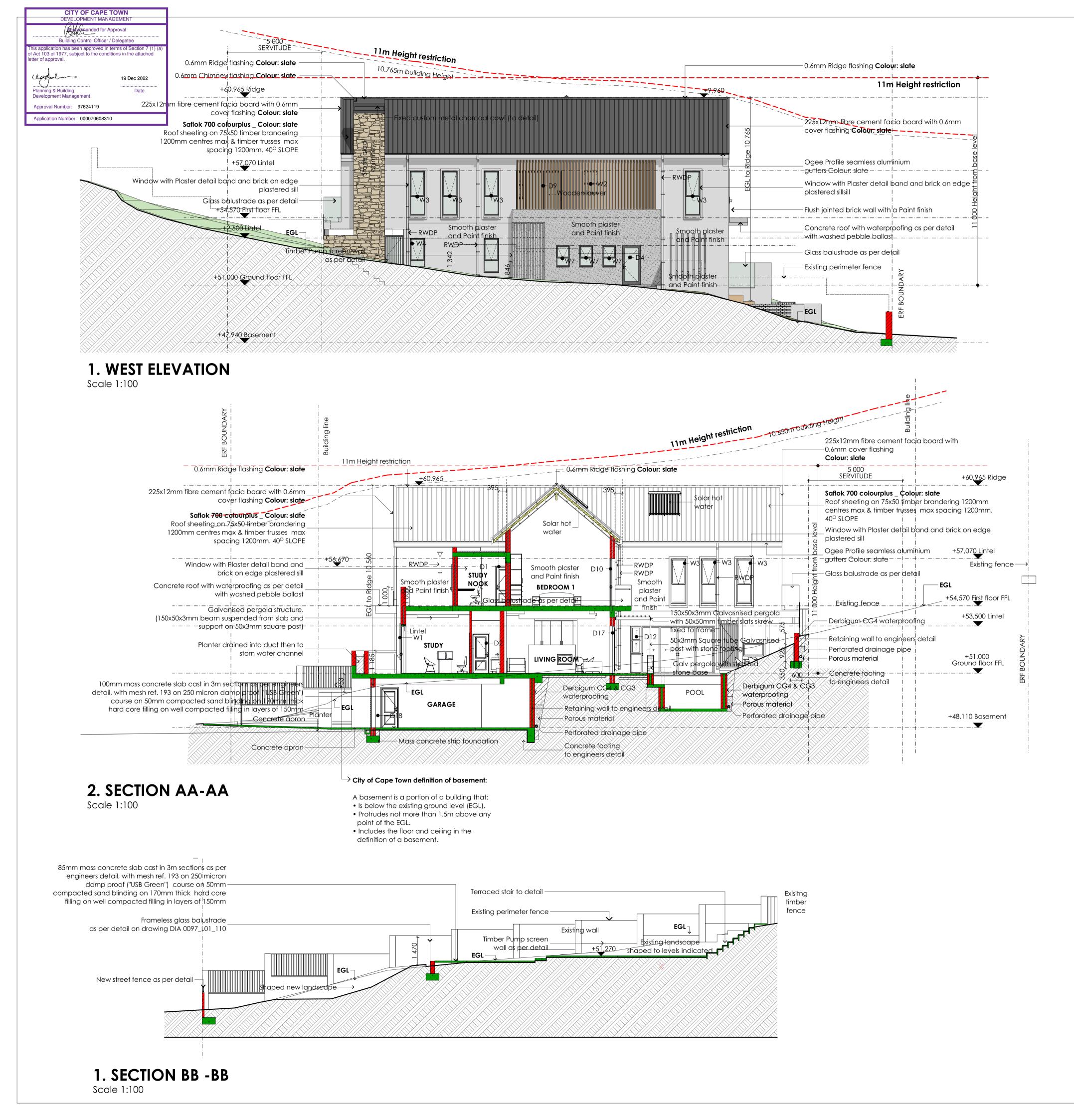
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Date:	Checked by:		
220223	WT		

Drawing nr.:

DIA 0097 L03\_100 P2

DIA 0097\_Team model Option 2\_15\_Arch 24.pln

Rev nr.



## GENERAL COMMENTS: All beams to engineers detail Roof truss design to suppliers detail

#### GENERAL

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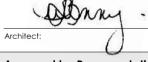
- the property of the architect. All work to be executed in strict compliance with SABS 10400 All dimensions to be checked on the site and any discrepancies to be reported to the Architect
- immediately before commencing with any work. Written dimensions to be used in preference to scaled dimensions. Drawings may not be scaled from prints.
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- registered artisans. Where required, Architect's drawings to be read
- in conjunction with Engineer's drawings. Where required, Architect's drawings to be read in conjunction with Manufacturer's specification.

Rev Date By Description P1 200919 WT For information P2 221017 WT Additional notes added



Certificate by Competent person

This is to certify that the building design contemplate with the requirements of SANS 10400-XA an SANS 204



Approval by Representative

#### Stefan Botha Name of Client representative

S

10/05/2022

#### Project:

#### **PROPOSED NEW DWELLING**

#### Client:

Growtime Construction Pty Ltd

#### Address:

PLOT 12 ERF 13547 Sillery Private Estate Constantia Western Cape

Drawing title

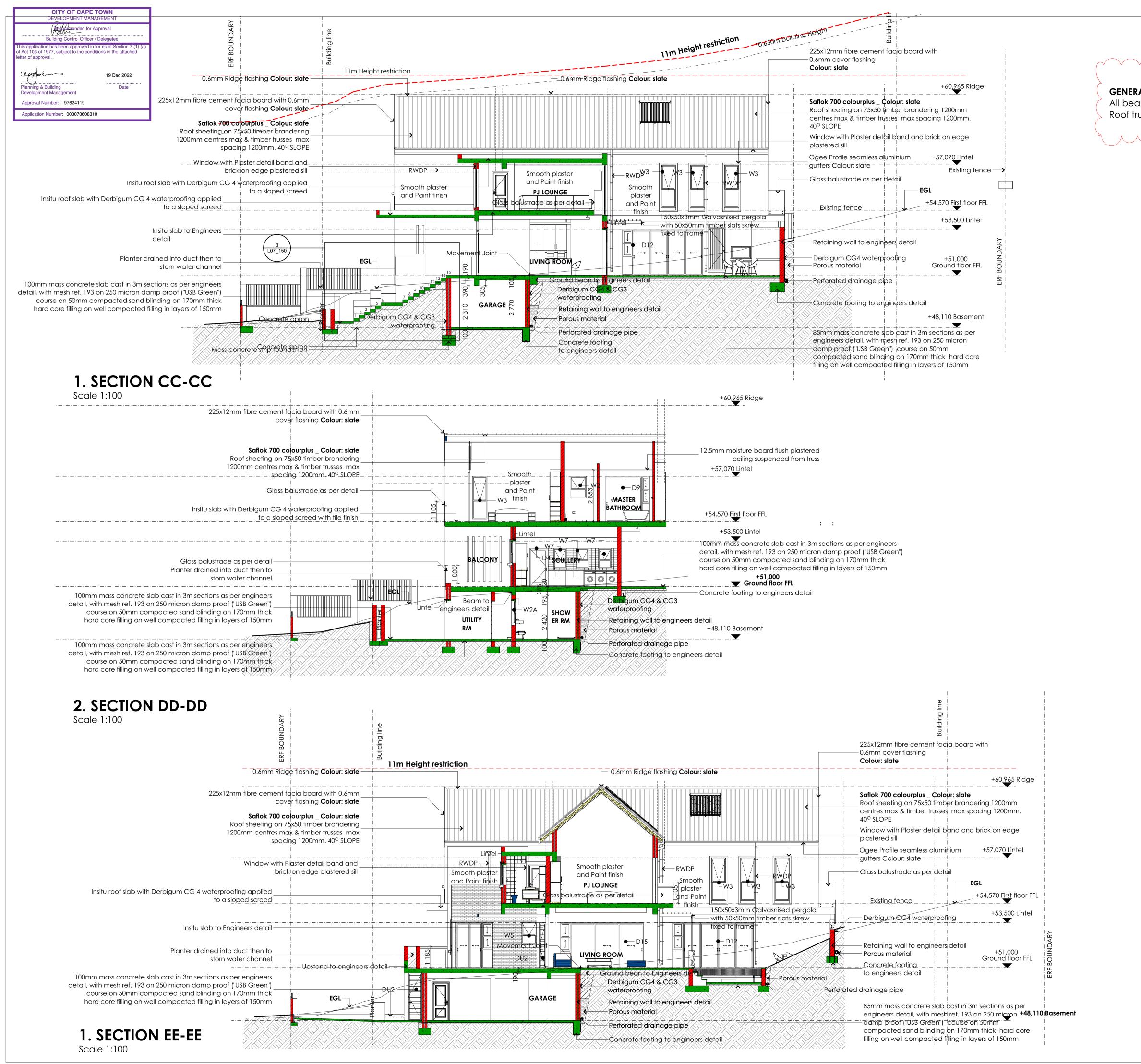
**ELEVATION & SECTION** 

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# **GENERAL COMMENTS:** All beams to engineers detail Roof truss design to suppliers detail

#### GENERAL

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- the property of the architect.
  All work to be executed in strict compliance with SABS 10400
  All dimensions to be checked on the site and any discrepancies to be reported to the Architect
- immediately before commencing with any work.
  Written dimensions to be used in preference to scaled dimensions.
  Drawings may not be scaled from prints.
- All electrical and drainage work to be executed registered artisans.
- Where required, Architect's drawings to be read in conjunction with Engineer's drawings.
- Where required, Architect's drawings to be read in conjunction with Manufacturer's specification.

RevDateByDescriptionP1200919WTFor informationP2221017WTAdditional notes addedIII</td



Certificate by Competent person

This is to certify that the building design contemplated with the requirements of SANS 10400-XA an SANS 204

Architect:

Approval by Representative

### Stefan Botha

S

10/05/2022

#### Project:

#### PROPOSED NEW DWELLING

#### Client:

Growtime Construction Pty Ltd

#### Address:

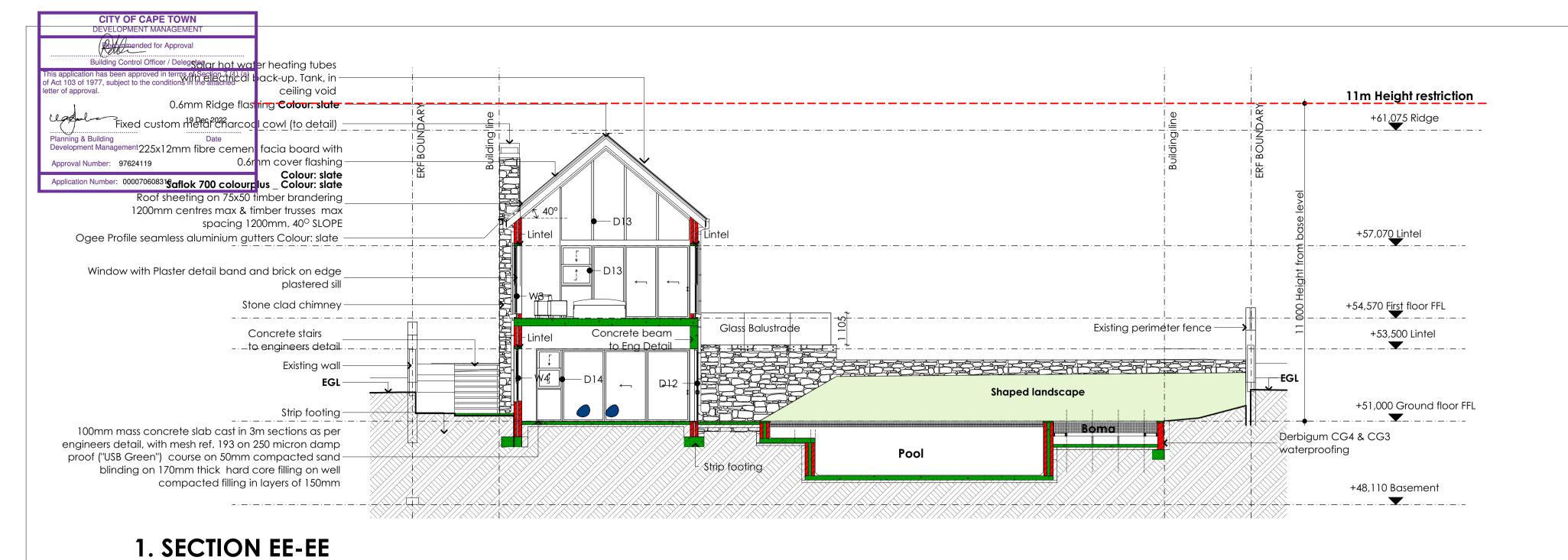
PLOT 12 ERF 13547 Sillery Private Estate Constantia Western Cape

Drawing title
SECTIONS Page 1

### Drawing status

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## GENERAL COMMENTS: All beams to engineers detail Roof truss design to suppliers detail

#### GENERAL

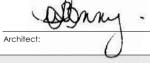
- This drawing is copyright reserved and remains the property of the architect.All work to be executed in strict compliance with SABS 10400 - All dimensions to be checked on the site and any discrepancies to be reported to the Architect
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  Where required, Architect's drawings to be read
- in conjunction with Manufacturer's specification.

Rev Date By Description P1 200919 WT For information P2 221017 WT Additional notes added



Certificate by Competent person

This is to certify that the building design contemplated h with the requirements of SANS 10400-XA an SANS 204



Approval by Representative

#### Stefan Botha Name of Client representative:

SB

nature of Client represe 10/05/2022 Date:

### Project:

### **PROPOSED NEW DWELLING**

### Client:

Growtime Construction Pty Ltd

### Address:

PLOT 12 ERF 13547 Sillery Private Estate Constantia Western Cape

Drawing title SECTIONS page 2

COUNCIL SUBMISSION				
Scale:		Drawn by:		
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Project No.:	Drawing nr.:	Rev nr.:		
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	CITY OF CAPE TOWN EVELOPMENT MANAGEMENT		W2A	W3	W4	W5	W6		W8	W9	W9A	W10	W11	W12	W14
W XoHASiZen3 of 1977	has been approved in terms of Section 7, subject to the Sonditions in the attac	7 (f) (a) 9900×1 200	650×1 200	800×2 350	800×1 800	800×1 200	750×1 200	700×1 100	600×750	600×1 100	600×900	5 000×2 750	2 150×6 000	1 860×2 120	1 365×4 667
N ARBEROF approval.	· 2	2	1	7	2	2	2	4	2	4	1	1	1	1	1
Planning & Build Development Ma Approval Numbe Application Num ELEVATION	ilding Date Management	2	↓ 002 002 * 650 *				002 L 750 *	↓ ↓ ↓ ↓ ↓ ↓ ↓ ↓ ↓ ↓ ↓ ↓ ↓ ↓		* 600 *	الم	S 000		2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2	
DESCRIPTION	window with one top hung opening section and lower fixed transom. Frame to have		Aluminium framed window with one top hung opening section and lower fixed transom. Frame to have a charcoal finish	Aluminium framed window with one top hung opening section and lower fixed transom. Frame to have a charcoal finish	transom Frame to have a	Aluminium framed window with one top hung opening section and lower fixed transom Frame to have a charcoal finish	Aluminium framed window with one top hung opening section and lower fixed transom. Frame to hav a charcoal finish	transport	Aluminium framed window with one top hung opening section . Frame to have a charcoal finish	Aluminium framed window with one top hung opening section and lower fixed transom. Frame to have a charcoal finish	Aluminium framed window with one top hung opening section and lower fixed transom. Frame to have a charcoal finish	Aluminium framed window with five fixed sections. Frame to have a charcoal finish	Aluminium framed window with three vertical and three horizontal fixed sections. Frame to have a charcoal finish	with two fixed sections.	two fixed lower section
GLASS	PG SMART GLASS X1 Elite	PG SMART GLASS X1 Plus	PG SMART GLASS X1 Plus	PG SMART GLASS X1 Plus	PG SMART GLASS X1 Elite	PG SMART GLASS X1 Elite s	PG SMART GLASS X1 Elite	PG SMART GLASS X1 Plus	PG SMART GLASS X1 plus	PG SMART GLASS X1 Plus	PG SMART GLASS X1 Plus	PG SMART GLASS X2 STANDARD	PG SMART GLASS X1 Elite	PG SMART GLASS X1 Elite	PG SMART GLASS X1 Plus
GLASS FINISH															

**GLAZING:** 6mm thick safety glass to be used throughout. 6mm thick safety glass to be used in all sections greater than 1sqm or closer than 1000mm to the floor, to comply with N(1),(2) of the N.B.R. All glazing to comply with requirements of SABS 0137 - access doors and side lights to have safety glass. Windows lower than 500mm from floor or lower than 1800mm above pitch line of stairs and shop fronts to have safety glass.

- ALL GLAZING TO COMPLY WITH SANS 10 400- PART N

## 1. WINDOW SCHEDULE

Scale N.T.S

				-										1	
DOOR NUMBER SIZE (WXH)	D1 865×2 078	D2 865×2 078	D3 850×2 035	D4 1 000×2 100	D5 1 800×2 500	D6 1 860×2 980	D7 830×2 270	D8 1 500×2 100	D9 2 450×2 500	D10 2 000×2 500	D10 2 500×2 500	D10A 2 500×2 500	D11 3 760×6 035	D12 4 460×2 500	D13 4 500×6 023
NUMBER	6	5	1	1	1	1	1	1	1	1	2	2 300 × 2 300	1	1	1
ELEVATION	865,	* <sup>865</sup>	503 * 850	81 2 1000,			,830,	80 7 1 500 +		↓ ↓ ↓ ↓ ↓ ↓ ↓ ↓ ↓ ↓ ↓ ↓ ↓ ↓			$\begin{array}{c} 40^{\circ} \\ \hline \\ chamfered \\ 100 & eEGLe \\ \hline \\ 0.5 \\ \hline \\ \hline \\ 0.5 \\ \hline \hline \\ 0.5 \\ \hline 0.5 \\ \hline \\ 0.5 \\ \hline \hline \\ 0.5 \\ \hline 0.5 \\ \hline \hline \\ 0.5 \\ \hline 0.5 \\ \hline \hline 0.5 \\ \hline 0.5 \\ \hline \hline 0.5 \\ \hline 0.5 $	$\begin{array}{c} \hline \\ \hline $	40° chamfered top dEGLe Coss f f f f f f f f f f f f f
FRAME	Ū	<ul> <li>Van Acht Door frame. Single</li> <li>interior jambliner door frame.</li> <li>(JAMB 140 OR 250 CONFIRM WALL WIDTH ON SITE)</li> </ul>	Nono	Aluminium with weather strips and rubber seals	Aluminium frame with fixed sidelight fitted with weather strips and rubber seals	Aluminium frame with fixed sidelight & fanlight fitted with weather strips and rubber seals	Aluminium with weather strip and rubber seals	s sidelight fitted with weather strips and rubber seals	0,	Aluminium framed 2 panel sliding door with two sliding panel. Side panels to have a fixed lower transom and a double vertical sliding upper transom.	Aluminium framed 2 panel sliding door with two sliding panel. Side panels to have a fixed lower transom and a double vertical sliding upper transom.	sliding door with two sliding panel. Side panels to have	Aluminium framed 3 panel sliding door with two sliding panel. Side panels to have a fixed lower transom and a double vertical sliding upper transom. Upper fanlight cat a 40 degrees chick dimensions on site	Aluminium framed 4 panel sliding door with 4 sliding panel. Side panels to have a fixed lower transom and a double vertical sliding upper transom.	Aluminium framed 3 panel sliding door with two sliding panel. Side panels to have a fixed lower transom and a double vertical sliding upper transom. Upper fanlight cat a 40 degrees chick dimensions on site
FRAME FINISH	Primed and painted 3 coats gloss enamel	Primed and painted 3 coats gloss enamel	None	Charcoal powder coated	Charcoal powder coated	Charcoal powder coated		Charcoal powder coated	Charcoal powder coated	Charcoal powder coated	Charcoal powder coated	Charcoal powder coated	Charcoal powder coated	Charcoal powder coated	Charcoal powder coated
COST OF DOOR FRAME (EXCLUDIN ARCHITRAVE)	G Door frame 140 : R1525-00 Door frame 250 : R2167-00	Door frame 140 : R1525-00 Door frame 250 : R2167-00	None	ТВС	ТВС	ТВС	TBC	ТВС	TBC	TBC	ТВС	ТВС	ТВС	TBC	TBC
DOOR LEAF	Van Acht Door leaf. 2 Panel Interior Door – Hollow Core – 813×2032 (Deep Moulded). Interior class 3 light duty	Van Acht Door leaf. 2 Panel Interior Door – Hollow Core – 813×2032 (Deep Moulded). Interior class 3 light duty	Toughened safety glass 8- 12mm thick	PG SMART GLASS X1 plus	PG SMART GLASS X1 plus	PG SMART GLASS X1 plus	PG SMART GLASS X1 plus	PG SMART GLASS X1 plus	PG SMART GLASS X1 plus	PG SMART GLASS X1 plus	PG SMART GLASS X1 plus	PG SMART GLASS X2 Standard	PG SMART GLASS X1 plus	PG SMART GLASS X1 plus	PG SMART GLASS X2 Standard
DOOR LEAF FINIS	Primed and painted 3 coats gloss enamel	Primed and painted 3 coats gloss enamel	Clear glass with opaque film	Aluminium Charcoal powder coated Clear glass leaf	Aluminium Charcoal powder coated Clear glass leaf and sidelight	Aluminium Charcoal powder coated Clear glass leaf fanlight and sidelight	Aluminium Charcoal powde coated Clear glass leaf	r Aluminium Charcoal powde coated Clear glass leaf	er Aluminium Charcoal powder coated Clear glass leaf and sidelight	Aluminium Charcoal powder coated Clear glass leaf and sidelight	Aluminium Charcoal powder coated Clear glass leaf and sidelight	Aluminium Charcoal powder coated Clear glass leaf and sidelight	Aluminium Charcoal powder coated Clear glass leaf, fanlight and sidelight	Aluminium Charcoal powder coated Clear glass leaf and sidelight	Aluminium Charcoal powder coated Clear glass leaf, fanlight and sidelight
COST OF DOOR LEAF	Door leaf: R498-00	Door leaf: R498-00	ТВС	ТВС	ТВС	ТВС	твс	твс	TBC	TBC	твс	твс	ТВС	TBC	TBC
IRONMONGERY		LOCK: DORMA D036S Cylinder sash lock Stainless steel. ar LEVER: DORMA TH132 Tubula Stainless steel. ROSE: DKE-TT- 003 Two tone Stainless steel. REBATE KIT: DORMA Nickel plated brass.	toilet door. Matching	steel.	Stainless steel. ROSE: DKE-TT-003		LOCK: DORMA D036S Cylinder sash lock Stainless steel. LEVER: DORMA TH132 Tubulo Stainless steel. ROSE: DKE-TT 003 Two tone Stainless steel.	LOCK: DORMA D036S Cylinder sash lock Stainless steel. LEVER: DORMA TH132 Tubular Stainless steel. ROS DKE-TT-003 Two tone Stainles steel.	UNION NARROW STILE HOOK BOLT, The Union narrow stile hook bolt features a zinc plated steel case and accepts a euro profile cylinder. The zinc plated hook bolt. T handle 30x400x500mm bolt thru & DORMA CYLINDER ESCUTCHEON PAIR SS (Product DCE-002-ZA)	UNION NARROW STILE HOOK BOLT, The Union narrow stile hook bolt features a zinc plate steel case and accepts a euro profile cylinder. The zinc platec hook bolt. T handle 30x400x500mm bolt thru & DORMA CYLINDER ESCUTCHEON PAIR SS (Product DCE-002-ZA)	d BOLT, The Union narrow stile hook bolt features a zinc plated steel case and accepted euro profile	hook bolt features a zinc plated steel case and accepts a euro profile cylinder. The zinc plated hook bolt. Thandle	UNION NARROW STILE HOOK BOLT, The Union narrow stile hook bolt features a zinc plated steel case and accepts	UNION NARROW STILE HOOK BOLT, The Union narrow stile hook bolt features a zinc plated steel case and accepts a e euro profile cylinder. The zinc plated hook bolt. Thandle 30x400x500mm bolt thru & DORMA CYLINDER ESCUTCHEON PAIR SS (Product DCE-002-ZA)	hook bolt features a zinc plated steel case and accepts a euro profile cylinder. The zinc plated hook bolt. Thandle
ARCHITRAVE	AS per Detail Meranit primed and painted 3 coats gloss enamel	AS per Detail Meranit primed and painted 3 coats gloss enamel	None	Plastered reveal	Plastered reveal	Plastered reveal	Plastered reveal	Plastered reveal	Plastered reveal	Plastered reveal	Plastered reveal	Plastered reveal	Plastered reveal	Plastered reveal	Plastered reveal
WEB LINK	https://vanacht.co.za/shop/ roduct/deep-mould-hollow- core-caprice-813-x-2032/ https://vanacht.co.za/shop/ roduct/door-jambliner- meranti-813-x-2032/	core-caprice-813-x-2032/													

## 2. DOOR SCHEDULE- part 1

Scale N.T.S

## the property of the architect. - All work to be executed in strict compliance with SABS 10400 - All dimensions to be checked on the site and any discrepancies to be reported to the Architect immediately before commencing with any work. - Written dimensions to be used in preference to scaled dimensions. - Drawings may not be scaled from prints. - All electrical and drainage work to be executed registered artisans. - Where required, Architect's drawings to be read in conjunction with Engineer's drawings. - Where required, Architect's drawings to be read in conjunction with Manufacturer's specification. Rev Date By Description P1 200919 WT For information Architects Architects Dry ink Architects (Pty) Ltd: Registration Number: 2017 / 006878 / 07 Tel: +27 76 7943039 I Email: wayne@dryinkarchitects.co.za 18 Rendlesham Ave I Belgravia Kimberley I 8301 WAYNE TERRY (PrArch 24714089) 回旅游回 ------PRIVYSEAL PROFESSIONAL ARCHITECT WAYNE BERTRAM TERRY 11:03 AM (AfricaJohannesburg) on 25 May 2022 Certificate by Competent person This is to certify that the building design contemplated h with the requirements of SANS 10400-XA an SANS 204 Abary. Architect: Approval by Representative Stefan Botha Name of Client representative: ignature of Client representative: 10/05/2022 Date: Project: PROPOSED NEW DWELLING Client: Growtime Construction Pty Ltd Address: PLOT 12 ERF 13547 Sillery Private Estate Constantia Western Cape Drawing title SCHEDULES Drawing status COUNCIL SUBMISSION Scale: Drawn by: WT 1:100 @ A1 Date: Checked by: WT 220508

Rev nr.:

Drawing nr.:

DIA 0097 L06\_100 P1

DIA 0097\_Team model Option 2\_15\_Arch 24.pln

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- This drawing is copyright reserved and remains



Project No.:

CITY OF CA				
Render				
DOOR NUMBER Control C	Officer / Delegetee	D15	D16	D17
This application has been approx	Ved in terms of Section 7 (1) (a)	4 610×2 500	5 000×2 500	4 460×2 500
of Act 103 MORER, subject to the	e conditions in the attached	1	1	1
Planning & Building Development Management Approval Number: 976241		$ \begin{array}{c} \hline \\ \\ \\ \\ \\ \\ \\ \\ \\ \\ \\ \\ \\ \\ \\ \\ \\ \\ $		4 460
FRAME panel	Is to have a fixed lower transom and a double	Aluminium framed 3 panel sliding door with 2 sliding panel. Side panels to have a fixed lower transom and a double vertical sliding upper transom.	Aluminium framed 5 panel fold away door	Aluminium framed 5 panel fold away doo
FRAME FINISH coal p	powder coated	Charcoal powder coated	Charcoal powder coated	Charcoal powder coated
COST OF DOOR FRAME (EXCLUDING ARCHITRAVE)		ТВС	ТВС	TBC
DOOR LEAF MART	GLASS X1 plus	PG SMART GLASS X2 Standard	PG SMART GLASS X2 Standard	PG SMART GLASS X2 Standard
DOOR LEAF FINISH ght		Aluminium Charcoal powder coated Clear glass leaf and sidelight	Aluminium Charcoal powder coated Clear glass leaf	Aluminium Charcoal powder coated Clec
COST OF DOOR LEAF		TBC	TBC	TBC
IRONMONGERY profile 100x500	e cylinder. The zinc plated hook bolt. Thandle 0mm bolt thru & DORMA CYLINDER ESCUTCHEON	UNION NARROW STILE HOOK BOLT, The Union narrow stile hook bolt features a zinc plated steel case and accepts a euro profile cylinder. The zinc plated hook bolt. T handle 30x400x500mm bolt thru & DORMA CYLINDER ESCUTCHEON PAIR SS (Product DCE-002-ZA)	By supplier	By supplier
ARCHITRAVE ered re	reveal	Plastered reveal	Plastered reveal	Plastered reveal
WEB LINK				

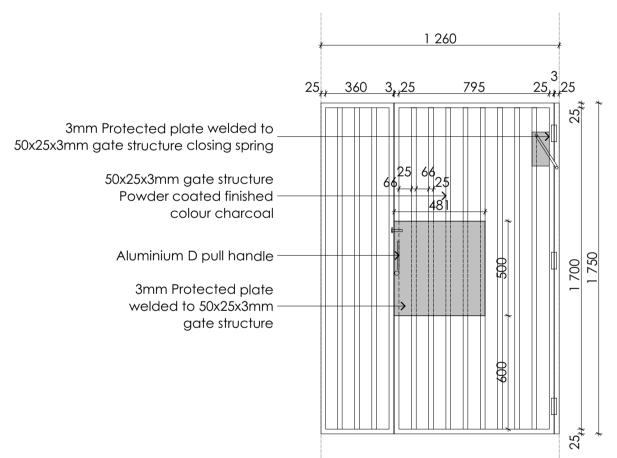
## 1. DOOR SCHEDULE- part 2

Scale N.T.S

DOOR NUMBER	DU1	DU2	DU2	G2	G3
SIZE (WXH)	1 460×2 100	382×2 500	780×2 640	1 000×2 371	1 270×2 000
NUMBER	1	1	1	1	1
ELEVATION	001 2 1 460	382, , ,	↓ ↓ ↓ ↓ ↓ ↓ ↓ ↓ ↓ ↓ ↓ ↓ ↓ ↓	1 000,	000 ,1 270,
FRAME	As per detail	As per detail	As per detail	As per detail	As per detail
FRAME FINISH					
COST OF DOOR FRAME (EXCLUDING ARCHITRAVE)					
DOOR LEAF					
DOOR LEAF FINISH					
COST OF DOOR LEAF					
IRONMONGERY					
ARCHITRAVE	Plastered reveal	Plastered reveal	Plastered reveal	Plastered reveal	Metal frame
WEB LINK					

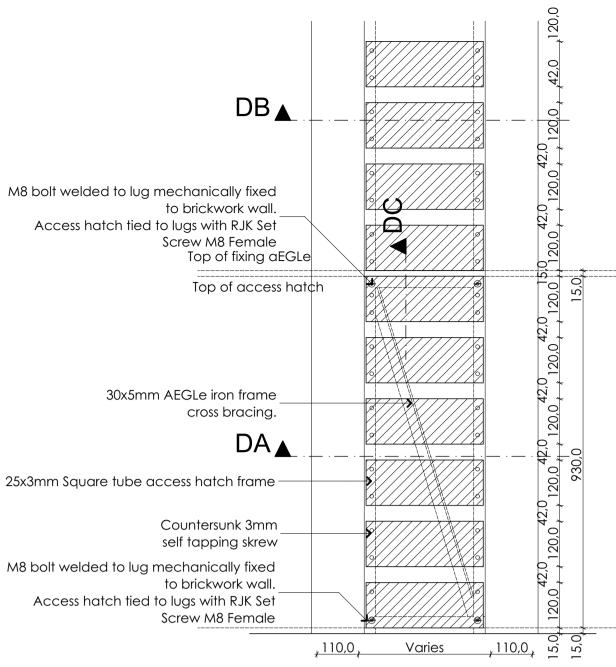
## 2. GATE & DUCT SCHEDULE

Scale N.T.S



Scale 1:20





25x3mm Square tube access hatch frame -

## 5. SERVICE DUCT ACCESS HATCH -elevation

SCALE 1:10

RJK Set Screw M8 Female and washer Plaster

25x3mm Square tube access hatch frame with 10mm holes alignng with welded bolt

50x3 x100mm RectaEGLe tube lug fixed to wall by means of M8x75mm expansion bolts M8x50mm bolt welded to AEGLe iron lug

## 5. SERVICE DUCT ACCESS HATCH -plan DA

SCALE 1:10

RJK Set Screw M8 Female and washer

25x3mm Square tube access hatch frame with 10mm holes alignng with welded bolt

M8x50mm bolt welded to AEGLe iron lug

### 6. SERVICE DUCT fixing lug SCALE 1:2

	Galvanised rails	Charcoal powder coat
	TBC	TBC
	Aluzinc	40mm solid core Timbe door with a 30min fire rating
Clear glass leaf	Charcoal	Varnished
	TBC	tbc
	Electric motor	dorma d pull handl with self closer
	Plastered reveal	Plastered reveal

4 880

esidential TIP UP GARAGE DOOR

D19

865×2 078

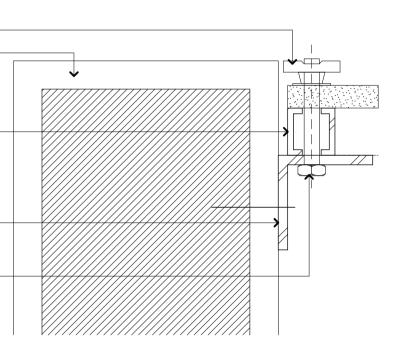
2 078

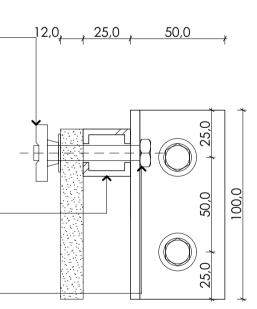
Aluminium door frame

D18

4 880×2 150

## **3. TYPICAL POOL FENCE DETAIL- elevation**





Galv. 100x50x3mm with a primed Paint finish RectaEGLe tube outer frame

Galv. 50x25x3mm vertical rails with a primed Paint finish. (Max spacing 100mm)

- Centurion D20 smart sliding gate motor.



#### GENERAL

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- immediately before commencing with any work. - Written dimensions to be used in preference to scaled dimensions.
- Drawings may not be scaled from prints. All electrical and drainage work to be executed
- registered artisans. Where required, Architect's drawings to be read in conjunction with Engineer's drawings.
- Where required, Architect's drawings to be read in conjunction with Manufacturer's specification.

lev	Date	Ву	Description
Ρ1	200919	WT	



Approval by Representative

#### Stefan Botha Name of Client representative:

Sta

#### nature of Client repre 10/05/2022 Date:

### Project:

### **PROPOSED NEW DWELLING**

### Client:

### Growtime Construction Pty Ltd

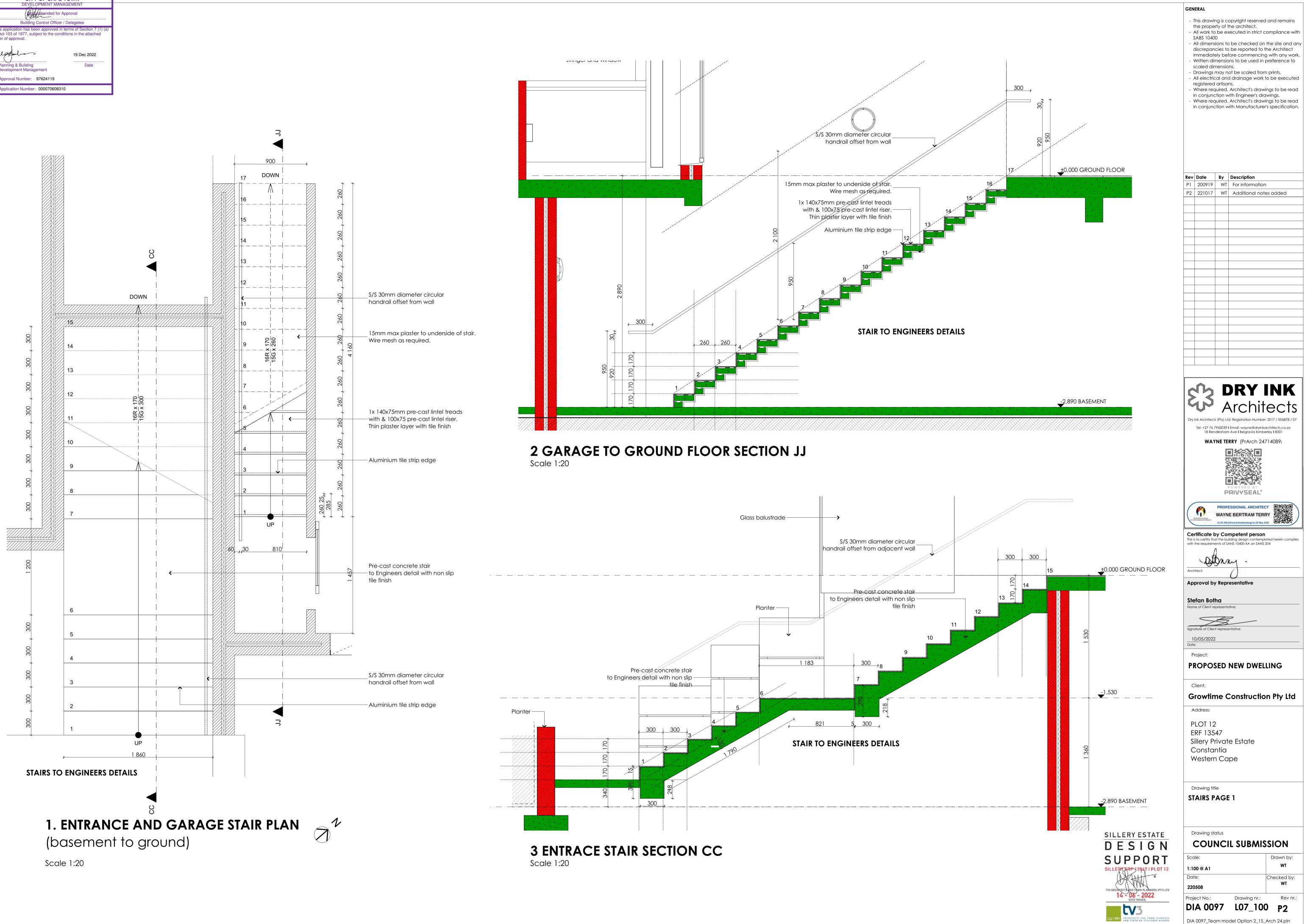
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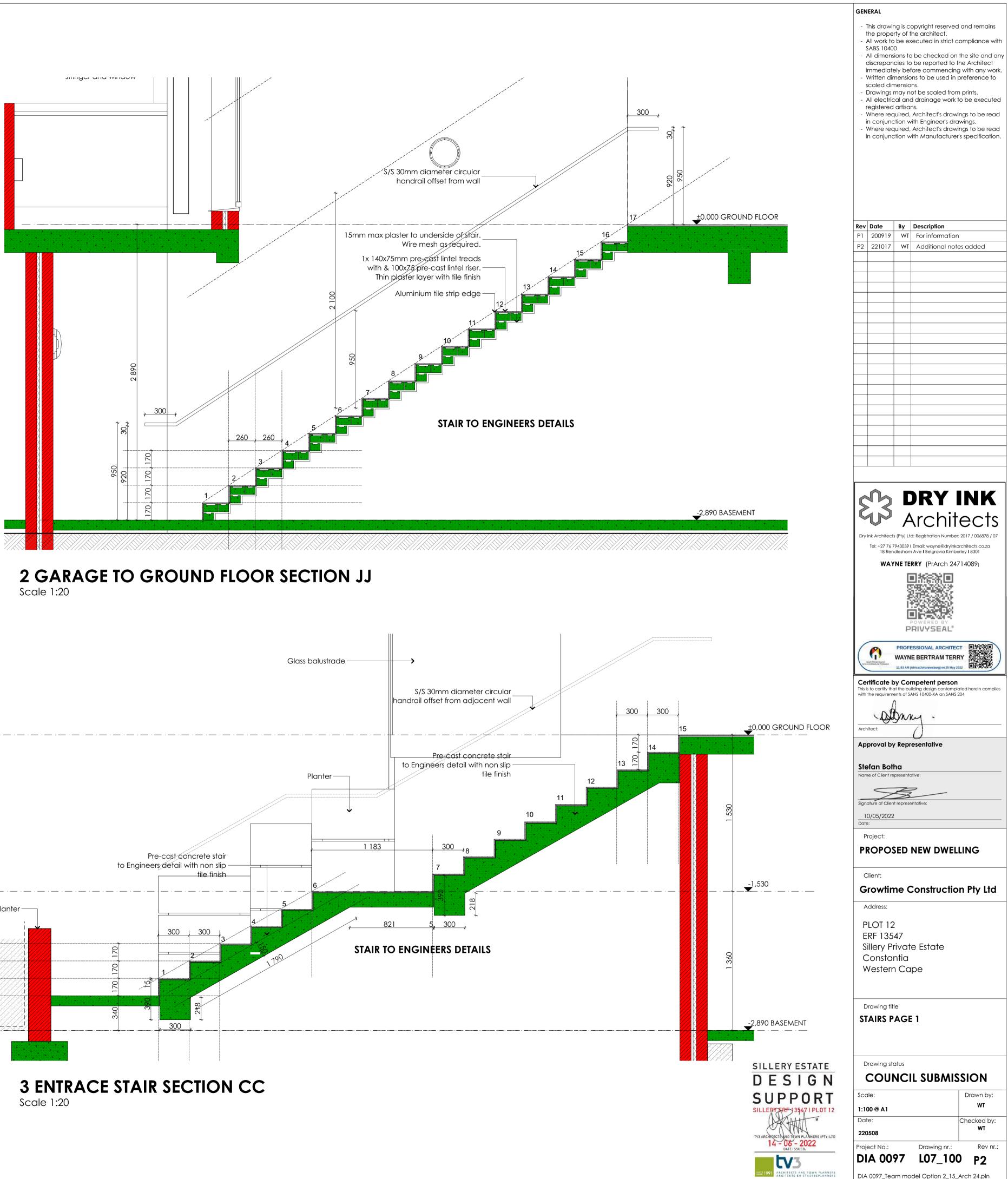
PLOT 12 ERF 13547 Sillery Private Estate Constantia Western Cape

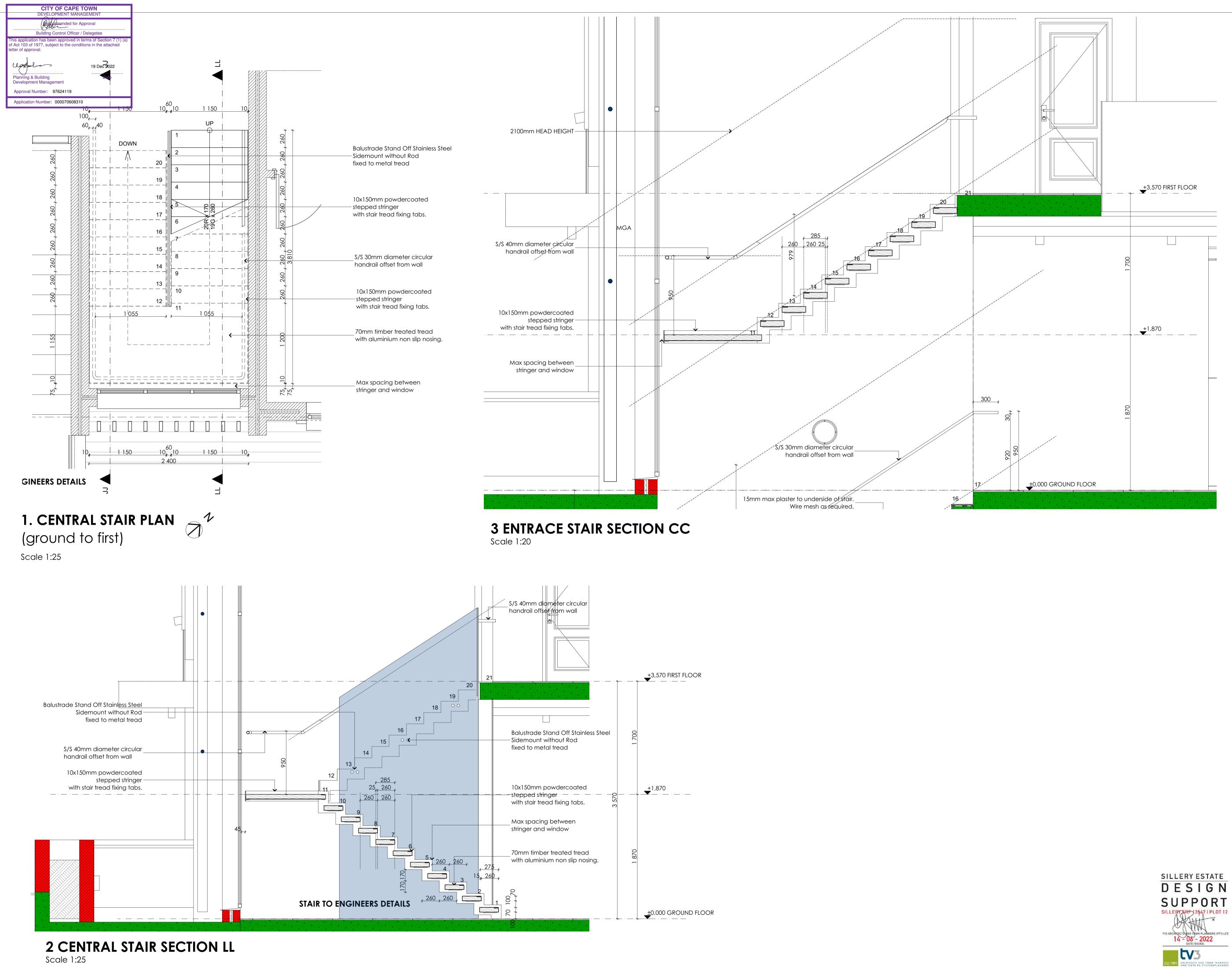
#### Drawing title SHEDULES CONTINUED

COUNCIL SUBMISSION				
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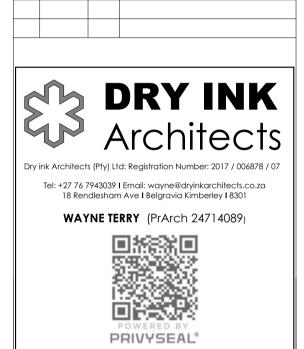




#### GENERAL

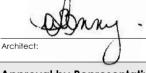
- This drawing is copyright reserved and remains the property of the architect.
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- registered artisans. Where required, Architect's drawings to be read
- in conjunction with Engineer's drawings. Where required, Architect's drawings to be read in conjunction with Manufacturer's specification.

Rev Date By Description P1 200919 WT For information P2 221017 WT Additional notes added



PROFESSIONAL ARCHITECT Certificate by Competent person

This is to certify that the building design contemplated with the requirements of SANS 10400-XA an SANS 204



Approval by Representative

#### Stefan Botha Name of Client representative

Sta

#### 10/05/2022 ate:

### Project:

### **PROPOSED NEW DWELLING**

### Client:

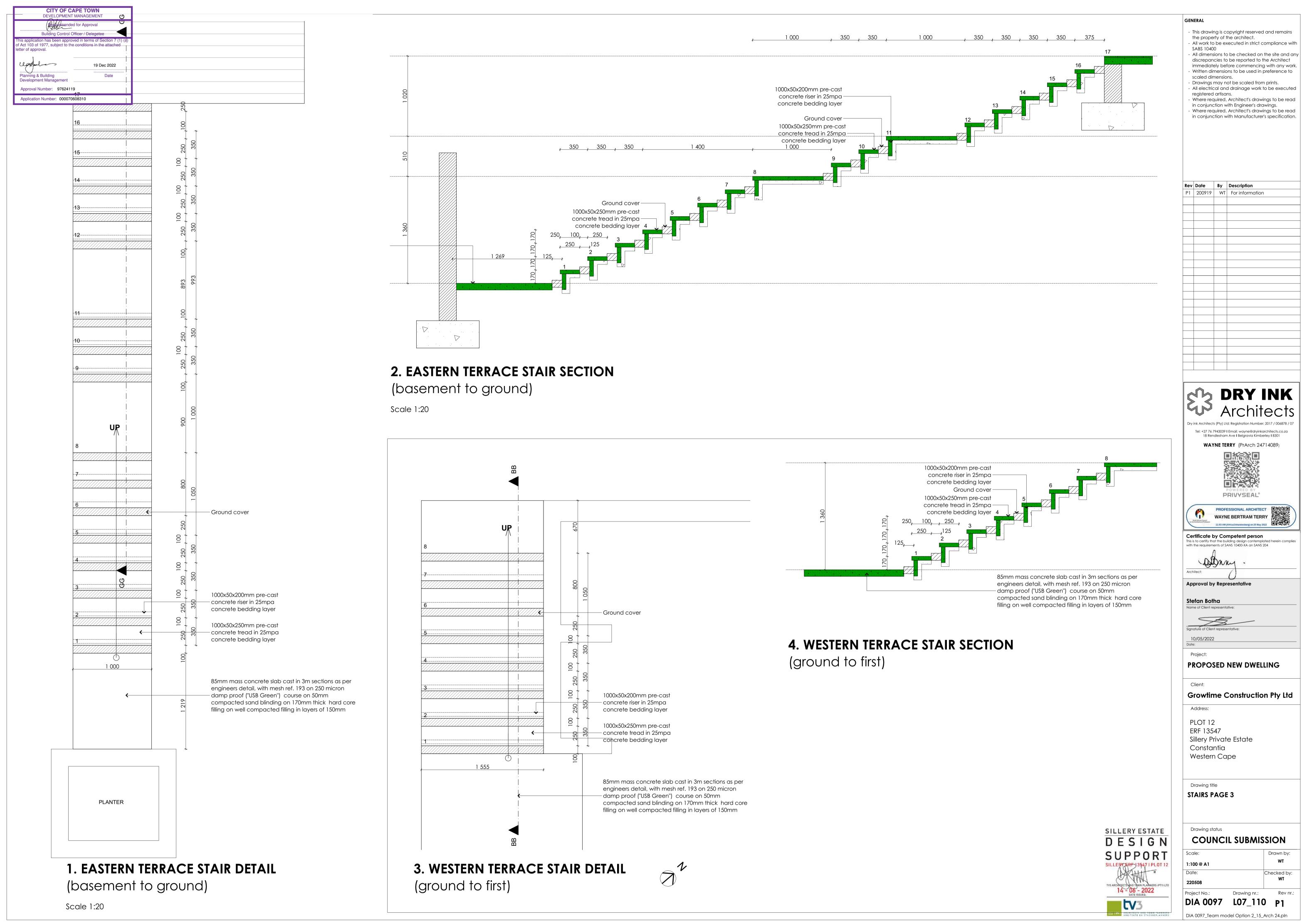
### Growtime Construction Pty Ltd

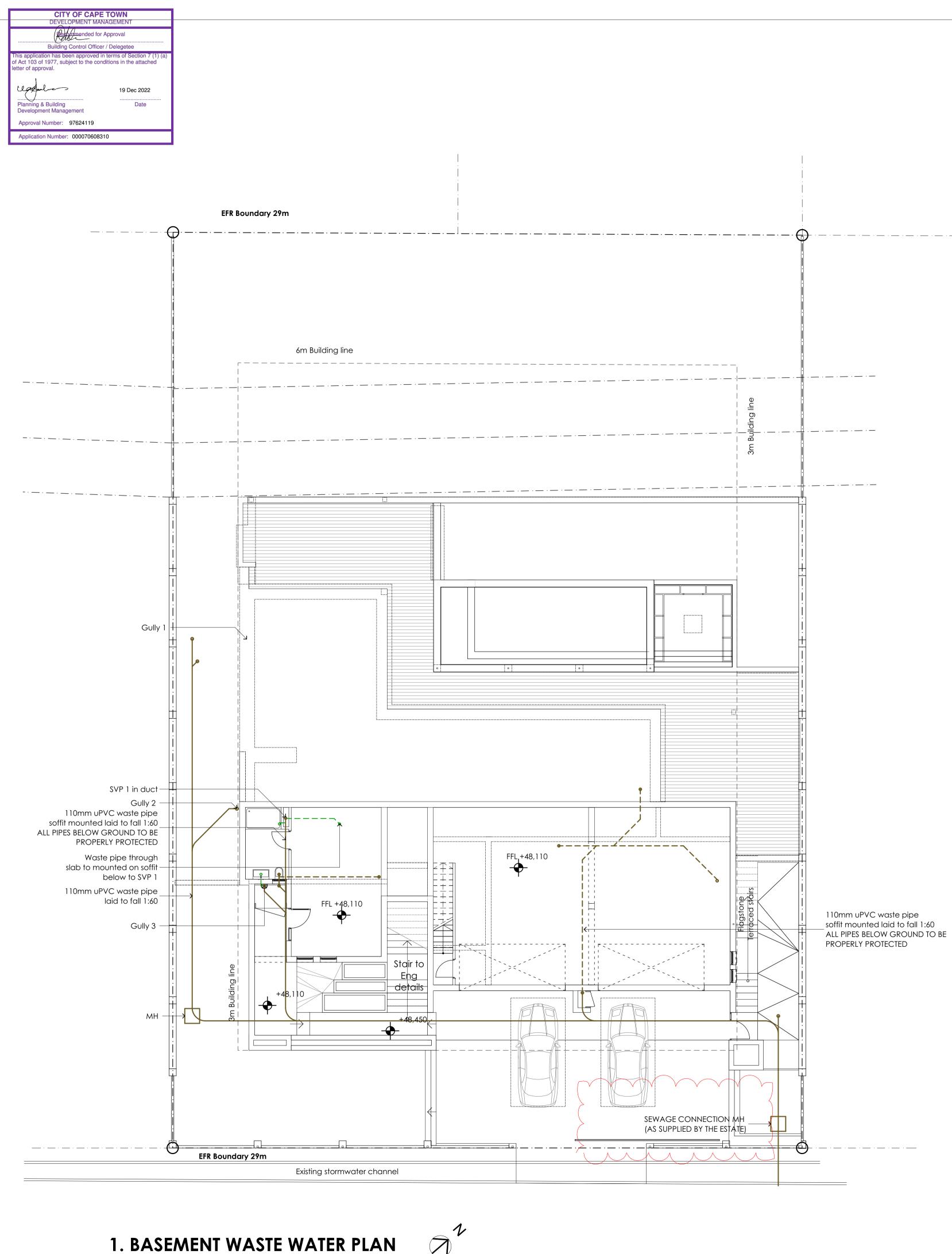
### Address:

PLOT 12 ERF 13547 Sillery Private Estate Constantia Western Cape

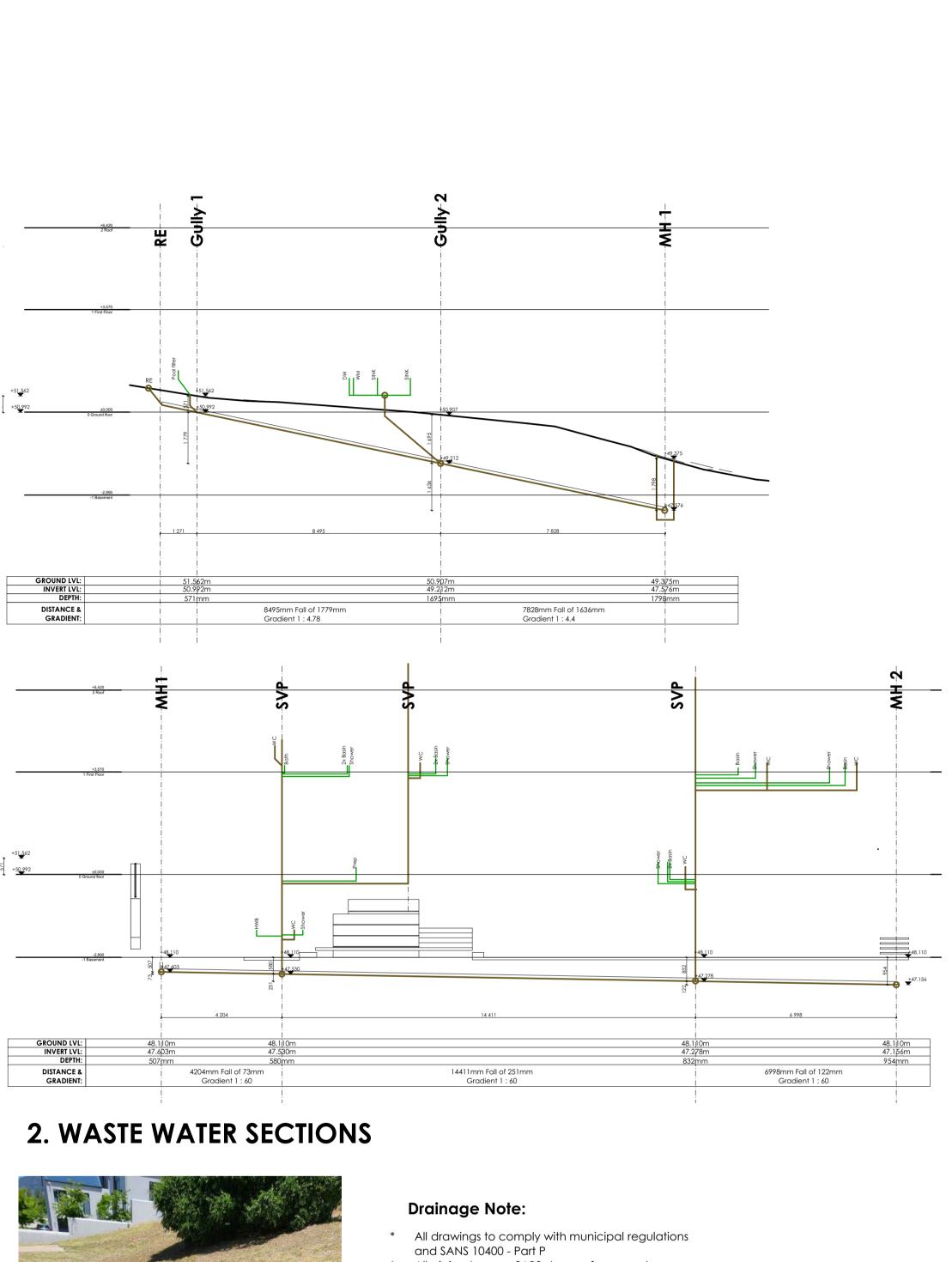
Drawing title **STAIRS PAGE 2** 

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220508		WT			
Project No.:	Drawing nr.:	Rev nr.:			
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DIA 0097_Team model Option 2_15_Arch 24.pln					











## Existing sewage connection manhole.

- \* All piping to carry SABS stamp of approval
- \* All traps to be 75mm deep seal \* All waste pipes to be 50mm Ø uPVC \* All bends to have a 600mm radius slow bend
- \* All waste fittings to have a anti-vacuum trap \* Min depth of waste pipes to be 450mm below
- ground level unless otherwise stated. \* All soil pipes below building walls and driveways and or with in 450mm of EGL to be encased in
- concrete \* All soile pipes to be 110mm Ø uPVC tp be bedded in 100mm thick river sand and covered with 300mm river sand or clay free soil

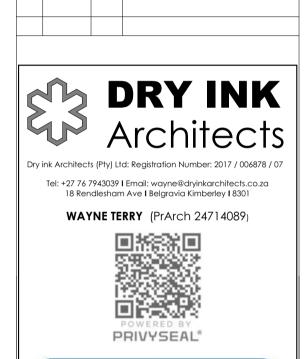
### Drainage legend:

$\bigcirc$	Pre- cast gully
	50mm uPVC waste pipe
• — • –	110mm uPVC soil pipe
RE	Roding Eye
IE	Inspection eye
мн	Manhole 600x600

GENERAL

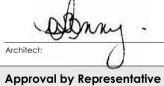
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- SABS 10400 - All dimensions to be checked on the site and any discrepancies to be reported to the Architect
- immediately before commencing with any work. - Written dimensions to be used in preference to scaled dimensions. - Drawings may not be scaled from prints.
- All electrical and drainage work to be executed
- registered artisans. Where required, Architect's drawings to be read
- in conjunction with Engineer's drawings. Where required, Architect's drawings to be read in conjunction with Manufacturer's specification.

David	Darka	Der	Description
	Date	Ву	Description
P1	200919	WT	For information
P2	221017	WT	Additional notes added
Р3	221128	WT	Sewage connection note adde



PROFESSIONAL ARCHITECT Certificate by Competent person

This is to certify that the building design contemplated with the requirements of SANS 10400-XA an SANS 204



#### Stefan Botha ame of Client represent

**(**)-

10/05/2022

#### Project:

**PROPOSED NEW DWELLING** 

#### Client:

Growtime Construction Pty Ltd

#### Address:

PLOT 12 ERF 13547 Sillery Private Estate Constantia Western Cape

#### Drawing title

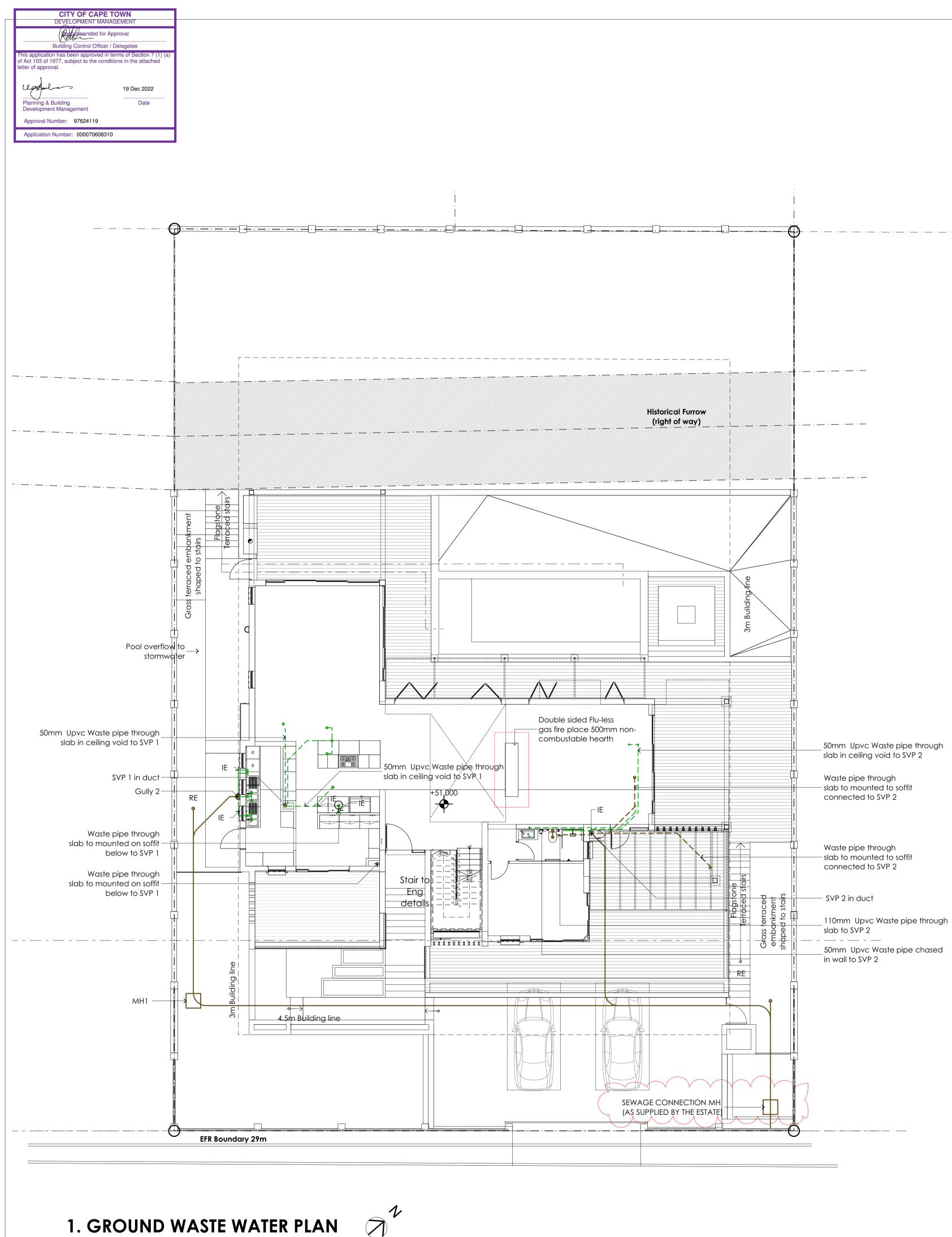
BASEMENT WASTE WATER PLAN

#### Drawing status



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#### Drainage Note:

- \* All drawings to comply with municipal regulations and SANS 10400 - Part P
- \* All piping to carry SABS stamp of approval
- \* All traps to be 75mm deep seal
- \* All waste pipes to be 50mm Ø uPVC
- \* All bends to have a 600mm radius slow bend \* All waste fittings to have a anti-vacuum trap
- \* Min depth of waste pipes to be 450mm below
- ground level unless otherwise stated.
- \* All soil pipes below building walls and driveways and or with in 450mm of EGL to be encased in concrete
- \* All soile pipes to be 110mm Ø uPVC tp be bedded in 100mm thick river sand and covered with 300mm river sand or clay free soil

#### Drainage legend:

	Pre- cast gully		
	50mm uPVC waste pipe		
	110mm uPVC soil pipe		
RE	Roding Eye		
RE	Roding Eye		

IE Inspection eye

ΜΗ Manhole 600x600

_			_	_		
G	Е	Ν	Е	R	А	L
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	the property of the architect.

- All work to be executed in strict compliance with SABS 10400 - All dimensions to be checked on the site and any
- discrepancies to be reported to the Architect immediately before commencing with any work. - Written dimensions to be used in preference to scaled dimensions.
- Drawings may not be scaled from prints.
- All electrical and drainage work to be executed registered artisans.
- Where required, Architect's drawings to be read
- in conjunction with Engineer's drawings. Where required, Architect's drawings to be read in conjunction with Manufacturer's specification.

Rev Date By Description P1 200919 WT For information P2 221017 WT Additional notes added P3 221128 WT Sewage connection note added BRY INK Arc 07 ory ink Architects (Pty) Ltd: Registration Number: 2017 / 006878 / 07 Tel: +27 76 7943039 I Email: wayne@dryinkarchitects.co.za 18 Rendlesham Ave I Belgravia Kimberley I 8301 WAYNE TERRY (PrArch 24714089) PRIVYSEAL PROFESSIONAL ARCHITECT () Certificate by Competent person This is to certify that the building design contemplated with the requirements of SANS 10400-XA an SANS 204 Abring Architect Approval by Representative Stefan Botha Name of Client representative Sta 10/05/2022 Project: **PROPOSED NEW DWELLING** Client: Growtime Construction Pty Ltd Address: PLOT 12 ERF 13547 Sillery Private Estate Constantia Western Cape Drawing title **GROUND FLOOR WASTE WATER** PLAN Drawing status COUNCIL SUBMISSION Scale: Drawn by: WT



DIA 0097\_Team model Option 2\_15\_Arch 24.pln

DIA 0097 L10\_105 P3

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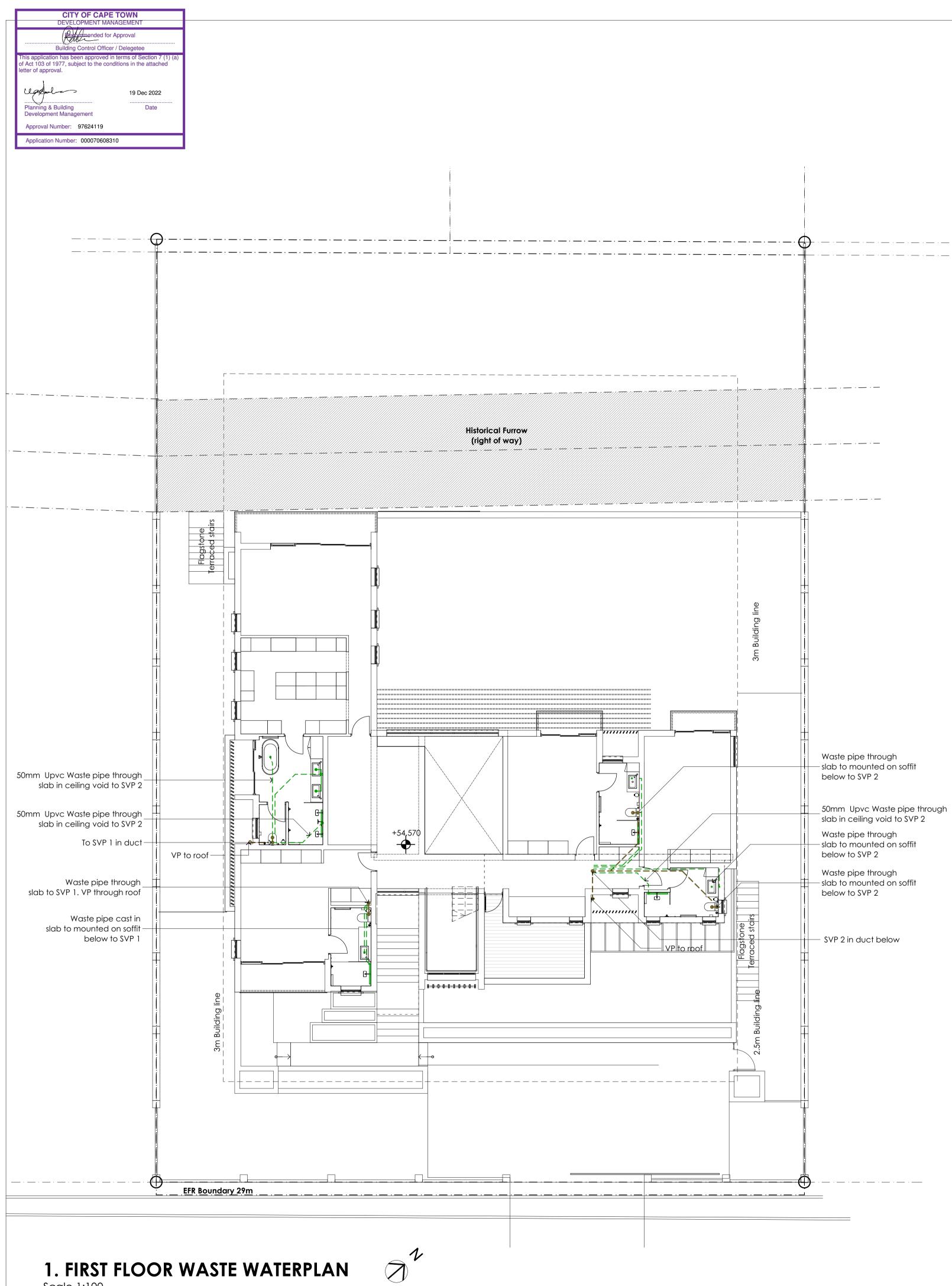
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Date:

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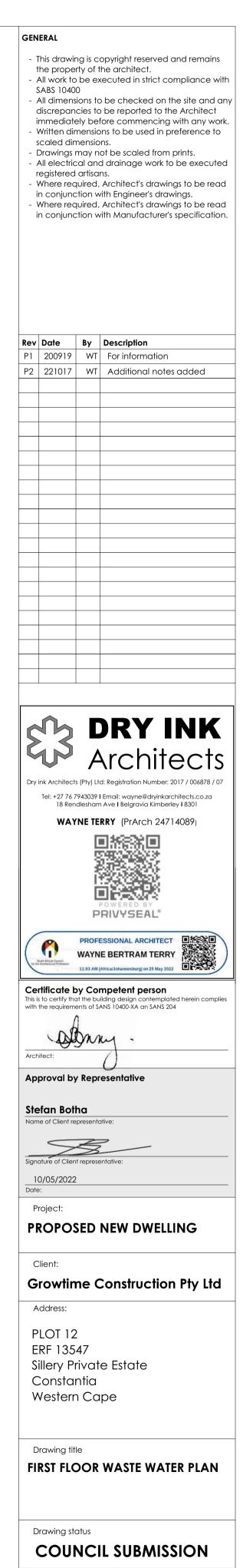


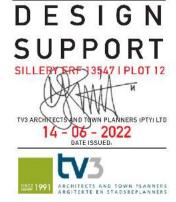
#### Drainage Note:

- \* All drawings to comply with municipal regulations and SANS 10400 - Part P
- \* All piping to carry SABS stamp of approval
- \* All traps to be 75mm deep seal
- \* All waste pipes to be 50mm Ø uPVC
- \* All bends to have a 600mm radius slow bend
- \* All waste fittings to have a anti-vacuum trap
- \* Min depth of waste pipes to be 450mm below ground level unless otherwise stated.
- \* All soil pipes below building walls and driveways and or with in 450mm of EGL to be encased in concrete
- \* All soile pipes to be 110mm Ø uPVC tp be bedded in 100mm thick river sand and covered with 300mm river sand or clay free soil

#### Drainage legend:

	Pre- cast gully
	50mm uPVC waste pipe
	110mm uPVC soil pipe
RE	Roding Eye
IE	Inspection eye
MH	Manhole 600x600





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 Checked by:

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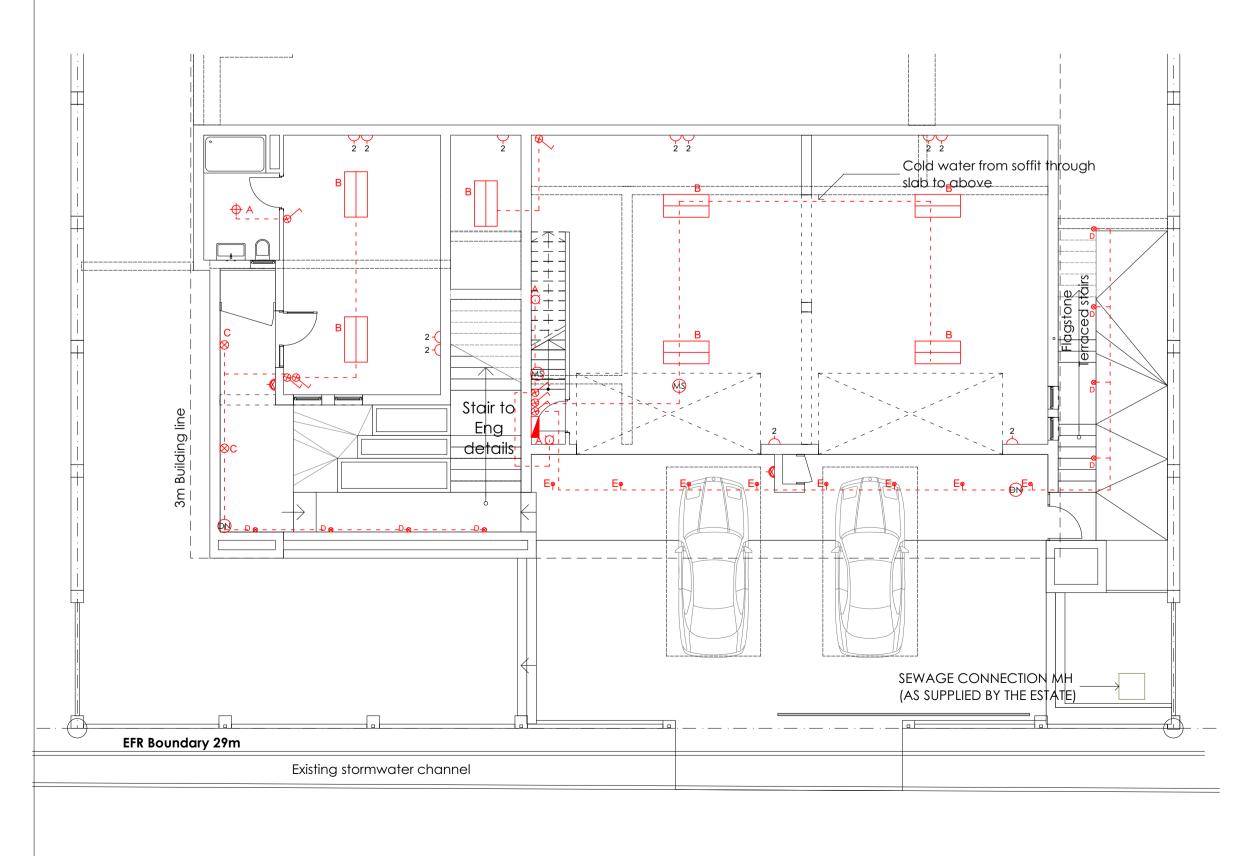
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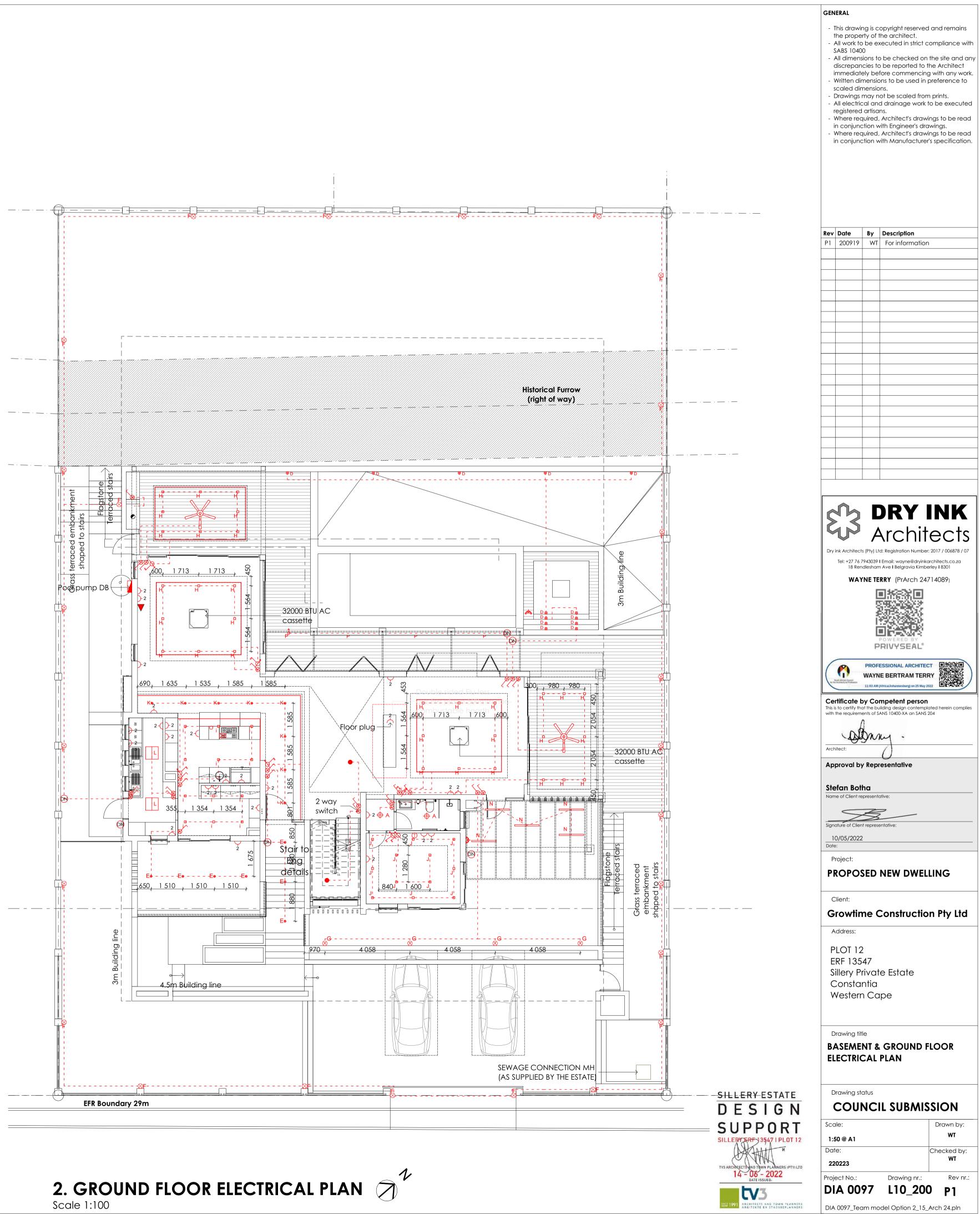
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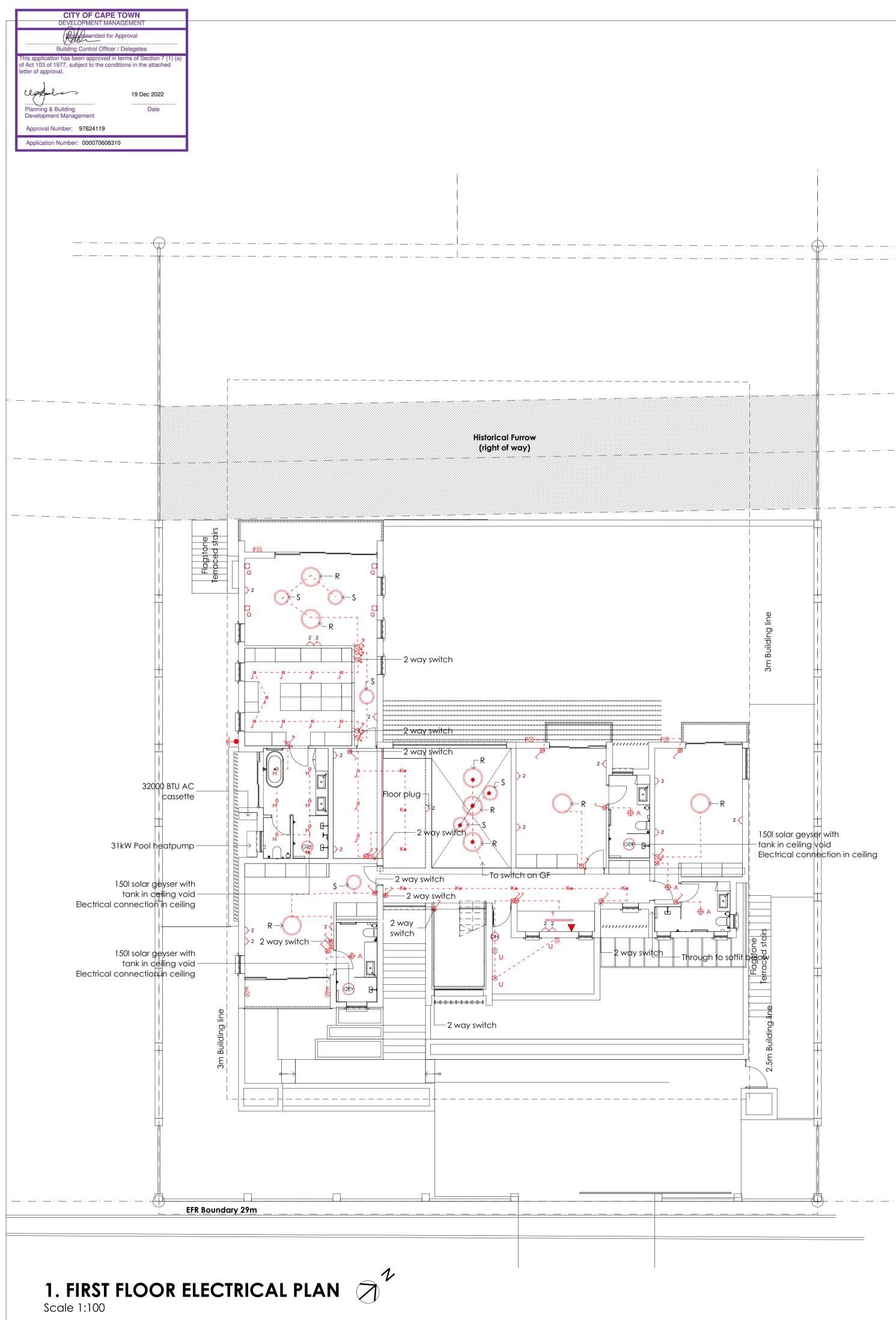
DEVELOPMENT MANAGEMENT		
Building Control Officer / Delegetee		
This application has been approved in terms of Section 7 (1) (a) of Act 103 of 1977, subject to the conditions in the attached letter of approval.		
Upperland 19 Dec 2022		
Planning & Building Date Development Management		
Approval Number: 97624119		
Application Number: 000070608310		

Electric Schedule		
Power distribution box		
1	Telephone connection point	
~~	light switch	
<b>`</b> •	One Lever two way light switch	
×ø	Dimmer switch	
<b>DN</b>	Day night sensor	
MS	Day night sensor	
1	Single wall socket	
2	Double wall socket 2x 3pin & 2x 2pin layout	
$\triangleleft$	Double floor socket	
Ŕ	Shaver socket	
\$	Double Waterproof plug	
	Stove connection point	
•- I	Satellite dish	
▼	DSTV point	
Ū	ADSL & Telephone point	



# 1. BASEMENT ELECTRICAL PLAN





Electric Schedule		
	Power distribution box	
T	Telephone connection point	
$\sim $	light switch	
<b>`</b> •	One Lever two way light switch	
× Ø	Dimmer switch	
DN	Day night sensor	
MS	Day night sensor	
	Single wall socket	
2	Double wall socket 2x 3pin & 2x 2pin layout	
\$	Double floor socket	
Ŕ	Shaver socket	
\$	Double Waterproof plug	
$\boxtimes$	Stove connection point	
• I	Satellite dish	
▼	DSTV point	
1	ADSL & Telephone point	

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	n conjunc		nin Manufacturer	s specification.
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Ar the	outh African Countol Architectural Profession		(Africa/Johannesburg) on 25 May 20	
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Ар	proval by	/ Repi	esentative	
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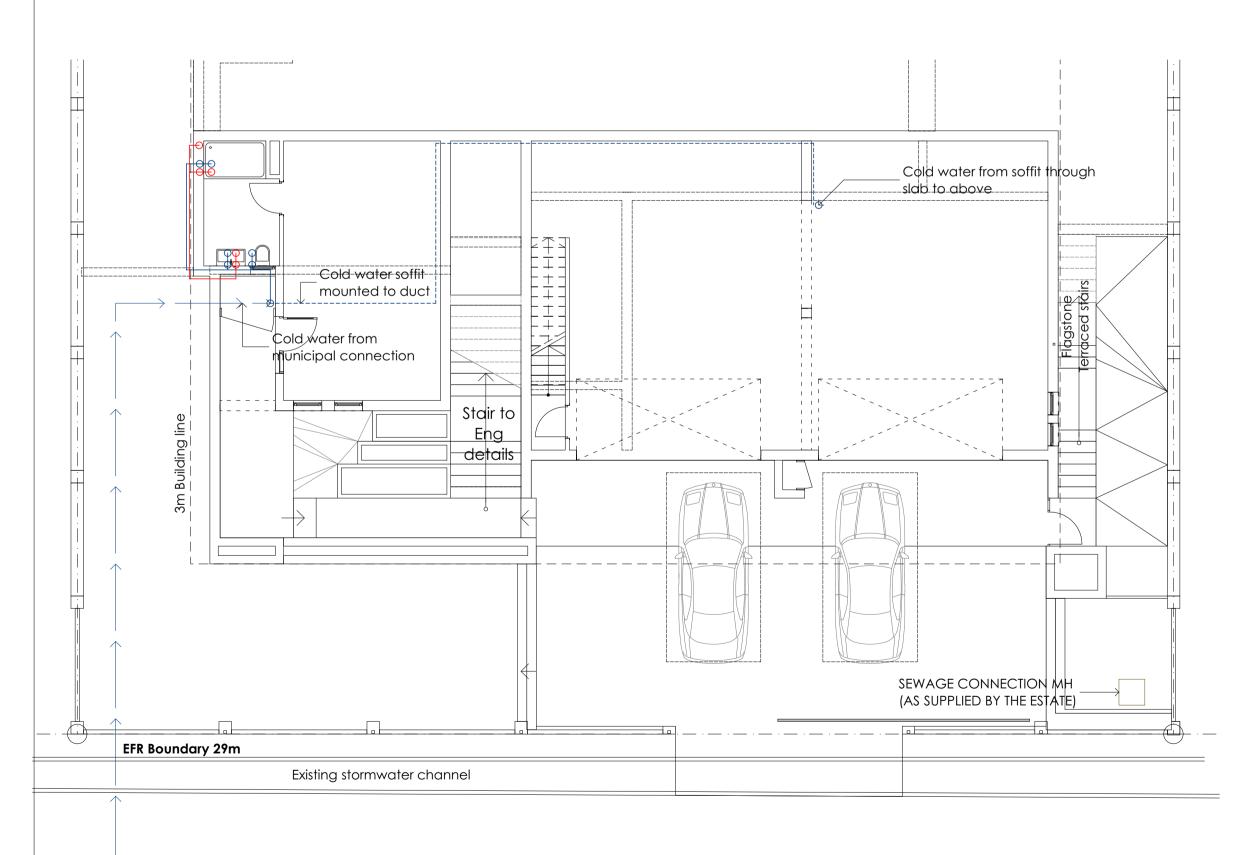
CITY OF CAPE	TOWN		
DEVELOPMENT MANA	AGEMENT		
Reportmended for Approval			
Building Control Officer	Delegetee		
This application has been approved in terms of Section 7 (1) (a) of Act 103 of 1977, subject to the conditions in the attached letter of approval.			
Upperlies	19 Dec 2022		
Planning & Building Development Management	Date		
Approval Number: 97624119			
Application Number: 000070608310	)		

#### Water reticulation Note:

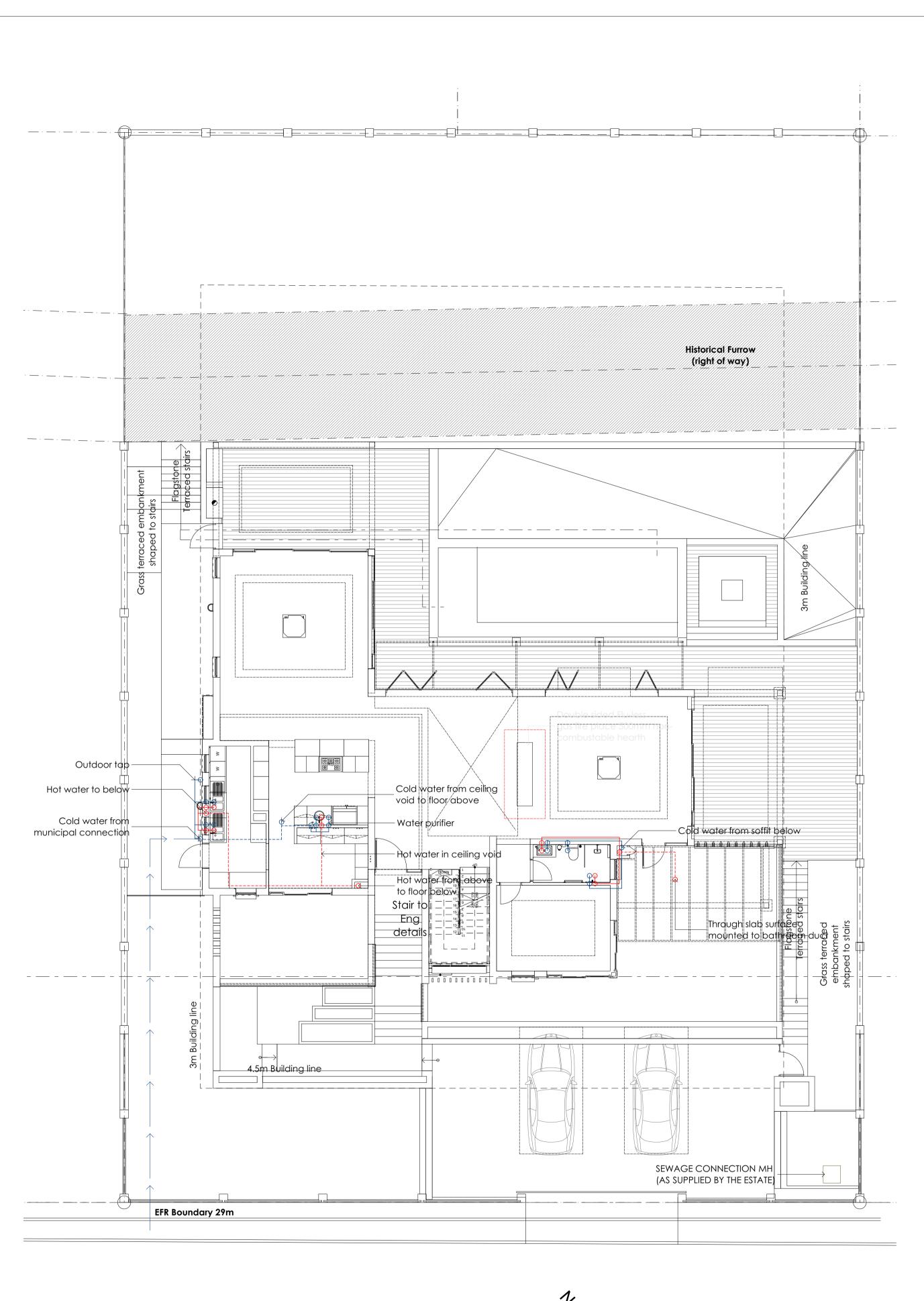
- \* All underground water supply pipes to be HDPE or equivalent
   \* All water supply pipes above ground to be surface
- mounted polymer heavy duty class 2 hot and cold water pipes fitted with approved bends and accessories
- \* All routes are schematic and should be confirmed on site
- \* All exposed hot water pipes to be clad with glasswool insulation as per Isover or equal approved to meet min R-value of 1 as per SANS 10400-XA:2011 4.1.4.
- \* All supply pipes to geyser to be insulated
   \* Solar geyser to be installed by specialist on top of room position as shown on roof plan

#### Water reticulation legend:

- 22mm copper Hot water ring feed 15mm copper Hot water supply line chased into wall 15mm copper Hot water supply line in ceiling void



# **1. BASEMENT WATER RETICULATION PLAN**



# 2. GROUND FLOOR WATER RETICULATION PLAN



#### GENERAL

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- All work to be executed in strict compliance with SABS 10400
  All dimensions to be checked on the site and any discrepancies to be reported to the Architect
- immediately before commencing with any work.
  Written dimensions to be used in preference to scaled dimensions.
  Drawings may not be scaled from prints.
- All electrical and drainage work to be executed
- registered artisans. - Where required, Architect's drawings to be read
- in conjunction with Engineer's drawings.Where required, Architect's drawings to be read

in conjunction with Manufacturer's specification.

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PROFESSIONAL ARCHITECT WAYNE BERTRAM TERRY 11:03 AM (Atrical Johannesburg) on 25 May 2022 Certificate by Competent person

This is to certify that the building design contemplated he with the requirements of SANS 10400-XA an SANS 204  $\bigwedge$ 

wither:

Approval by Representative

### Stefan Botha

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10/05/2022

#### Project:

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PROPOSED NEW DWELLING

#### Client:

Growtime Construction Pty Ltd

#### Address:

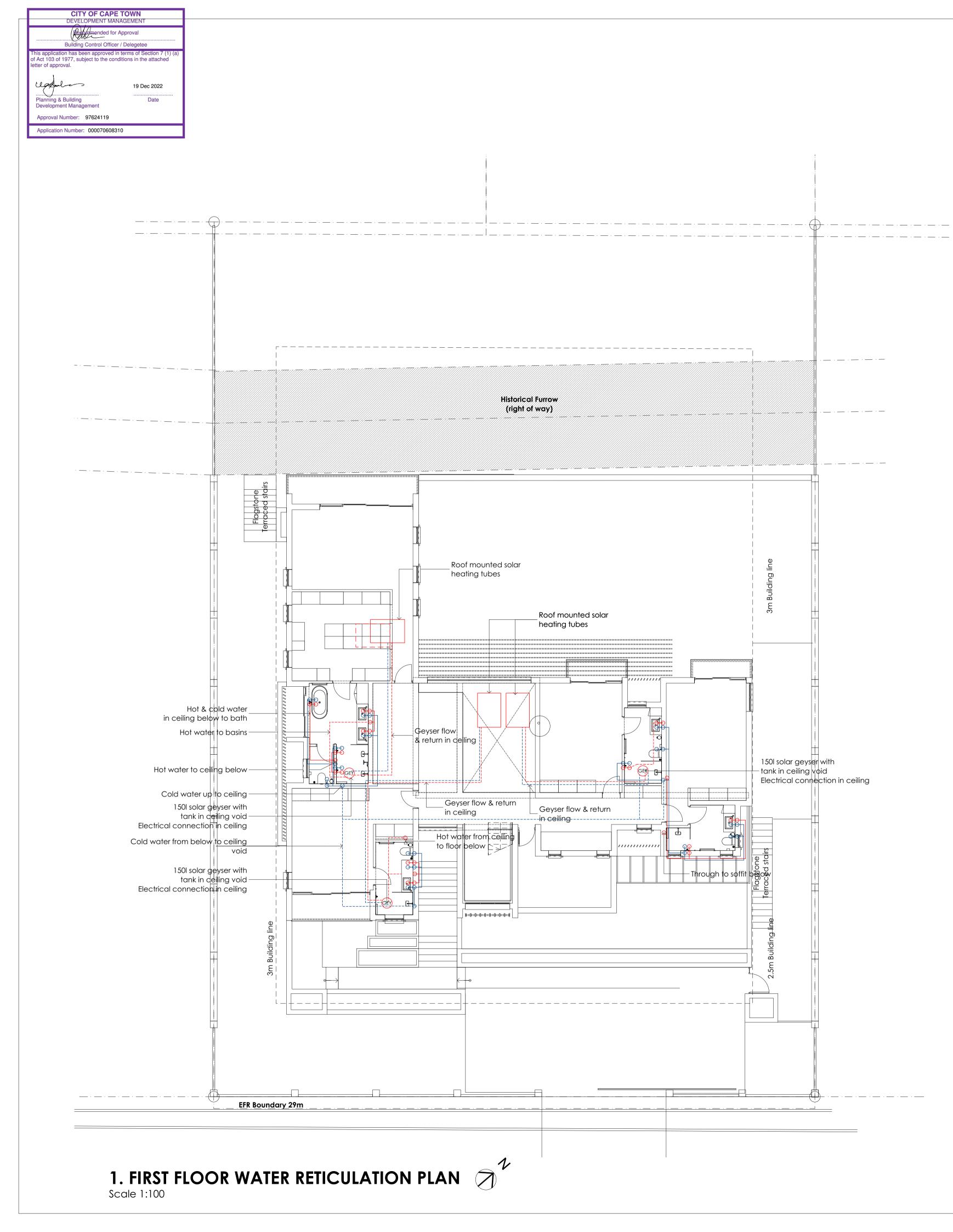
PLOT 12 ERF 13547 Sillery Private Estate Constantia Western Cape

#### Drawing title BASEMENT & GROUND FLOOR WATER RETICULATION PLAN

WATER RELICULATION PLAN

COUNCIL SUBMISSION		
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#### Water reticulation Note:

- \* All underground water supply pipes to be HDPE or
- equivalent \* All water supply pipes above ground to be surface mounted polymer heavy duty class 2 hot and cold
- water pipes fitted with approved bends and
- accessories \* All routes are schematic and should be confirmed
- on site \* All exposed hot water pipes to be clad with glasswool insulation as per Isover or equal
- approved to meet min R-value of 1 as per SANS 10400-XA:2011 4.1.4. \* All supply pipes to geyser to be insulated
  \* Solar geyser to be installed by specialist on top of
- room position as shown on roof plan

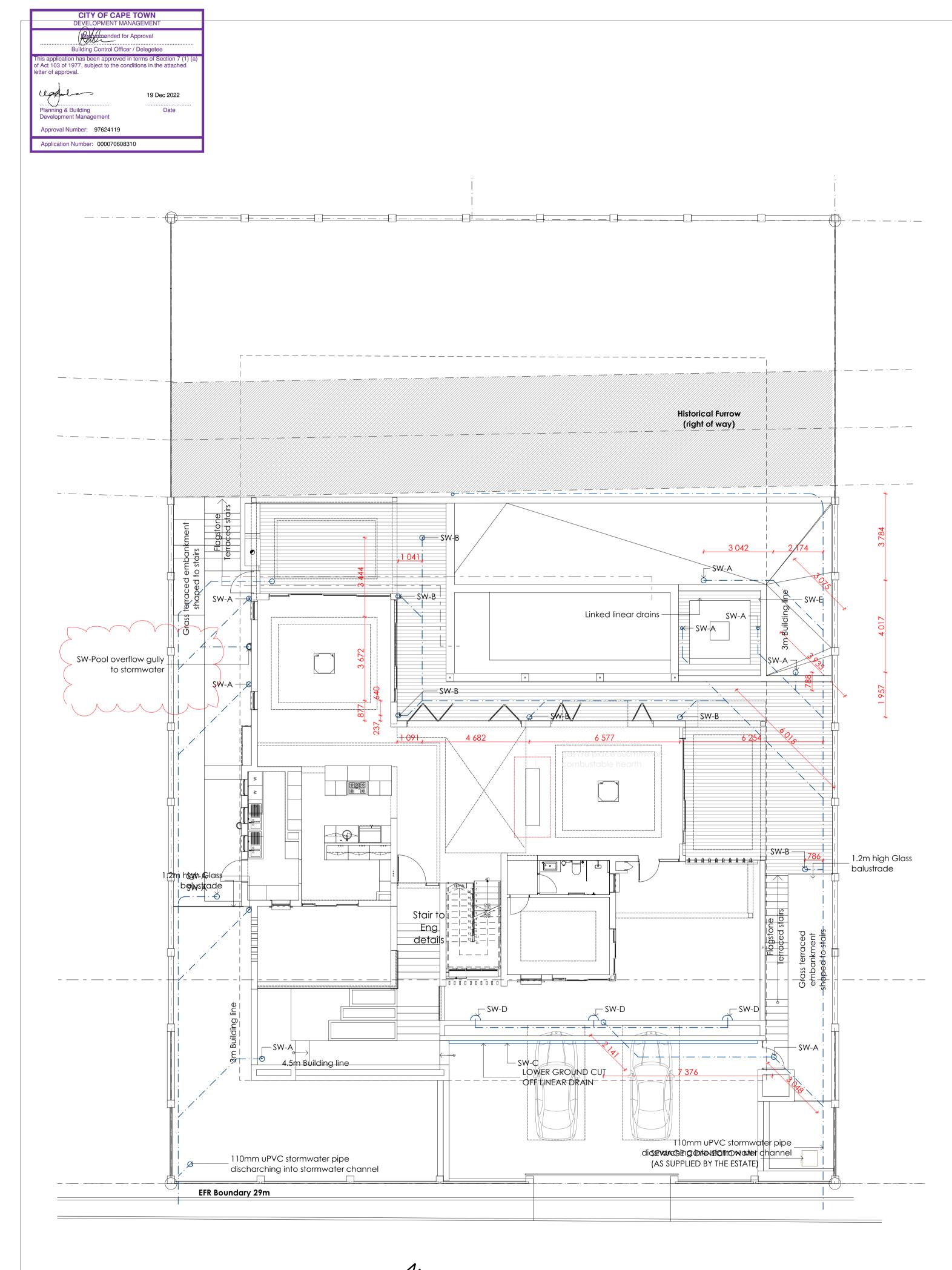
### Water reticulation legend:

22mm copper Hot water ring feed
 15mm copper Hot water supply line chased into wall
 15mm copper Hot water supply line in ceiling void
 15mm copper cold water supply line chased into wall
 15mm copper cold water supply line in ceiling void

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GENERAL





1. TYPICAL STORM WATER PLAN 🧷

Scale 1:100



## 2. SW- A RAIN WATER CATCH PIT

RainDrain Nylon - Charcoal Black Seaqual: RainDrain Nylon Best Selling Products SKU: 033102

Applications include domestic and light commercial use such as driveways and car park areas. RainDrain Nylon can carry vehicular weight of up to 5 tons.

Colour: CHARCOAL BLACK Size: 250X250X75

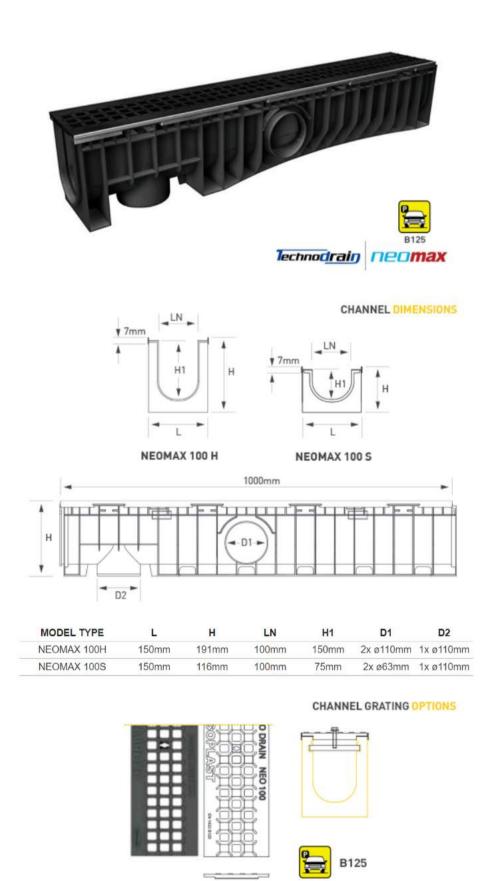
HyDrain 2nd Fix Seaqual: Flat Roof Drains Best Selling Products SKU: 097704 by 4 x bolts & nuts.

This product acts as a full-bore and is a suitable replacement to the common cast iron full-bore that has traditionally been installed on flat concrete roofs to drain rainwater.

counterpart. Colour: CHARCOAL BLACK



**TECHNODRAIN NEOMAX 100** 



\_\_\_\_\_

**TECHNODRAIN NEOMAX 100 H** 

HERBISH DRAINAGE SYSTEM:

The Technodrain Neo system is composed of: • Body of channel in PE-HD with a fl at edge and without a containing frame, furnished with a grating with extremities that cover the entire channel area. • For use in pedestrian areas, parks and gardens, cycle paths and

residential parking areas. • Ideal for urban decoration an architectural solutions in the supported loading classes

Fastening of gratings with tie bar

4. SW- C LINEAR DRAINAGE CHANNEL/CUT OFF DRAIN

#### GENERAL

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The RainDrain Nylon is Seaqual's flagship product.

RainDrain comes in 5 different colours to blend into its environment.

The HyDrain 2nd Fix consists of a domed grate with a flange that is held together

The HyDrain 2nd Fix can be installed either in conjunction with It's 1st Fix

RainDrain comes in 5 different colours to blend into its environment.



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Date:

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Project No.:

<ul> <li>registered artisans.</li> <li>Where required, Architect's drawings to be read in conjunction with Engineer's drawings.</li> <li>Where required, Architect's drawings to be read in conjunction with Manufacturer's specification.</li> </ul>							
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11:03 AM (AtricaJohannesburg) on 25 May 2022         Certificate by Competent person         This is to certify that the building design contemplated herein complies with the requirements of SANS 10400-XA an SANS 204							
Architect:							
Approval by Representative Stefan Botha Name of Client representative:							
R							
Signature of Client representative:							
10/05/2022 Date:							
Project: PROPOSED NEW DWELLING							
Client: Growtime Construction Pty Ltd							
Address: PLOT 12 ERF 13547 Sillery Private Estate Constantia Western Cape							
Drawing title <b>STORM WATER PLAN</b>							
Drawing status COUNCIL SUBMISSION Scale: Drawn by:							

WT

Checked by:

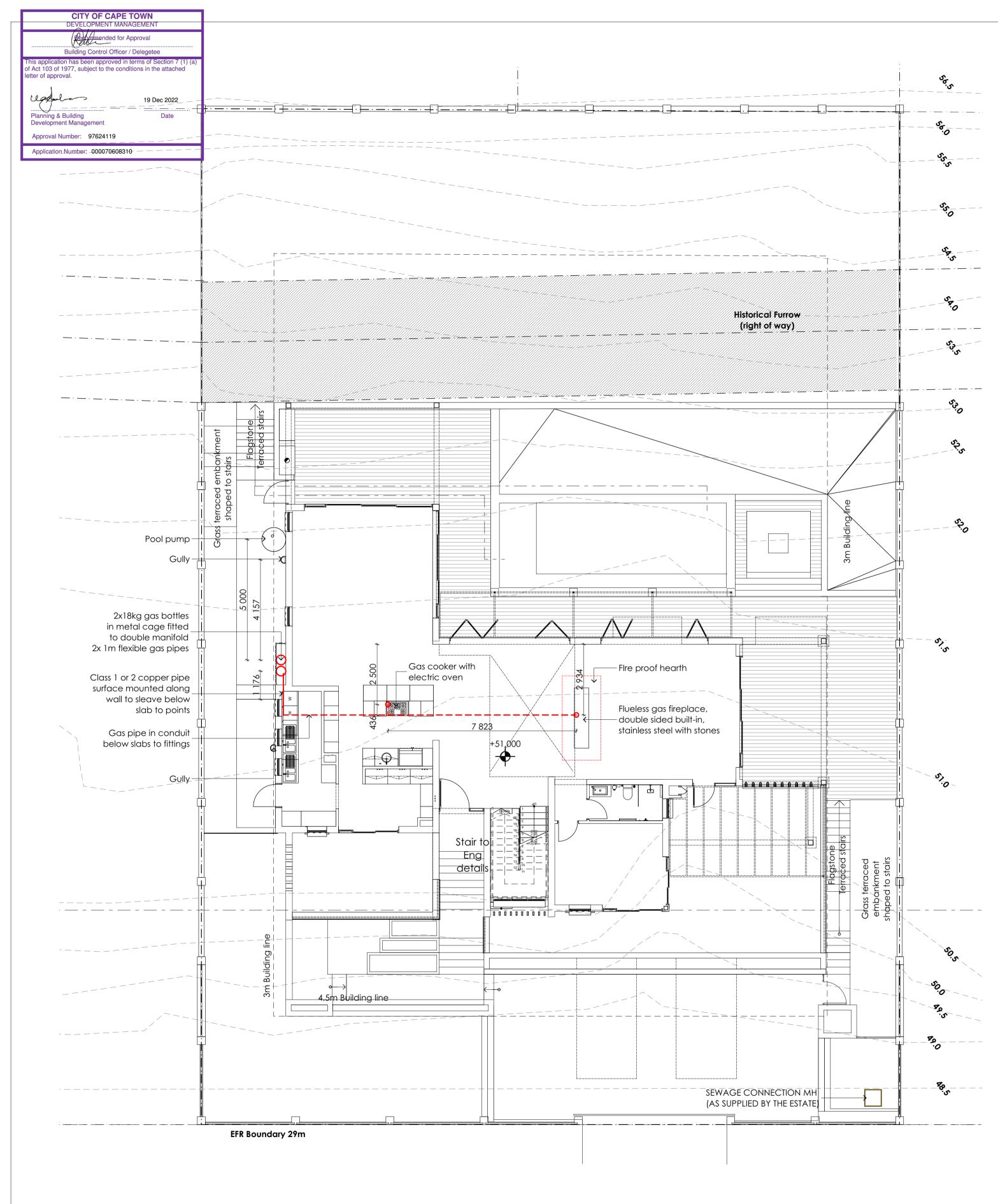
Drawing nr.:

DIA 0097 L10\_400 P1

DIA 0097\_Team model Option 2\_15\_Arch 24.pln

WT

Rev nr.:



## 1. GROUND GAS LAYOUT PLAN



Scale 1:100

LP gas installation to comply with SANS 10 087



### FLUELESS GAS FIREPLACE, DOUBLE SIDED BUILT-IN, STAINLESS STEEL WITH STONES R 47,37886

Size 1650mm Color Stainless Steel

Buy it now

\*\*\* PLEASE NOTE: PRICE EXCLUDES FLUE PIPES, PARTS & INSTALLATION FEES

\*\*\* KINDLY CONTACT US TO CONFIRM STOCK AVAILABILITY

#### Description:

The double sided flueless gas fireplace is available in full stainless steel or high heat powder coated black. The double sided fireplace is ideal for areas where you want to enjoy one fireplace from two rooms. A double sided fireplace is a great way to divide a large room into two separate zones for example between your living and dining room. The double sided vent free gas fireplace is easy to assemble and comes in three parts.

The burner, the firebox and the fascias. All of the parts can be easily assembled DIY but your gas connection must be done by a registered LPGSA installer. A flueless gas fireplace may not be installed into a bedroom.

\*\*\* Price excludes parts and installation cost. To be quoted separately depending on installation requirements.

#### MULTI-FILE FIRE SPECIALISTS

https://www.multifire.co.za/products/flueless-gas-fireplace-double-sided-built-in-stainless-steel-with-stones? variant=31970547269729 &currency=ZAR&utm\_medium=product\_sync&utm\_source=google&utm\_content=sag\_organic&utm\_campaign =sag\_organic&gclid=EAIaIQobChMIt5nS1P7p-gIVAurtCh2GIAf3EAQYCCABEgK6M\_D\_BwE

According to SANS 10087, the regulations state where a bottle can or can't be placed and how an installation may be completed.

1 : Bottle(s) can not be placed closer than 1m to a door.

2: Bottle(s) can not be placed closer than 2m to an open drain or depression, where the gas can gather if the bottle leaks.

3 : Bottle(s) can not be placed closer than 5m to an electrical switch, motor, generator, pool pump etc.

4: Bottle(s) can not be placed closer than 1m to the side of a window unless there is at least 300mm between the bottom of the window and the top of the bottle and a non combustible roof has been placed between the window and the bottle.

5: Bottle(s) can not be placed closer than 1m to a boundary wall, unless the wall is a double brick "firewall" > 1.8m tall, with no ventilation gaps in the wall.

6 : Only a registered LP gas installer may work on a gas system. Every installation must be signed off by installer with a valid certificate.

7 : Copper pipe must be greater than class 1 or 0.7mm wall thickness (copper used for water is class 0) and any copper pipe passing through or embedded in a wall, cement or ground, must be protected with a protective sleeve.

8 : Reinforced "orange" hose connecting appliances can not be longer than 2m and the hose can not have any joins and it can not pass through any walls or partition.

## GENERAL

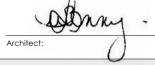
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Rev Date By Description P1 200919 WT For information



Certificate by Competent person

This is to certify that the building design contemplat with the requirements of SANS 10400-XA an SANS 204



Approval by Representative

#### Stefan Botha lame of Client representativ

10/05/2022

### Project:

### **PROPOSED NEW DWELLING**

### Client:

### Growtime Construction Pty Ltd

### Address:

PLOT 12 ERF 13547 Sillery Private Estate Constantia Western Cape

#### Drawing title **GROUND FLOOR GAS**

DIAGRAMS

### Drawing status

Drawing states							
COUNCIL SUBMISSION							
Scale:		Drawn by:					
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